

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**December 7, 2010
3:30 PM**

AGENDA

3:30 PM – Informal Public Hearing – Driveway Paving Requirements

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. MINUTES TO APPROVE

1. [Minutes of the November 10, 2010 Plan Commission Meeting](#)

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

E. DISCUSSION

1. Comprehensive Plan Annual Review
2. Student Housing Concept Plan – Midway Road/University Drive (to be received)

F. ACTION ITEMS

1. [Proposed Driveway Paving Ordinance](#)
2. [Site Plan Review – 23 Main Street – Jitters Lounge](#)

G. ADJOURNMENT

CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
November 10, 2010
DRAFT MINUTES

A. CALL TO ORDER

The meeting was called to order at 4:45 p.m. by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Commissioners Schmidt, Sturm, and Ald. Zelinski (alternate).

PLAN COMMISSION MEMBERS EXCUSED: DPW Radtke, Commissioners Cruickshank, Homan, and Ald. Benner.

OTHERS PRESENT: PP Kester, Doug Haas, Thomas Larsen.

C. MINTUES TO APPROVE

1. **Minutes of the November 2, 2010 Plan Commission Meeting**

Mayor Merkes noted that the start time of the November 2, 2010 should be 3:35 rather than 3:30.

Moved by Comm. Schmidt, seconded by Ald. Zelinski to approve the November 2, 2010 Plan Commission meeting minutes with the noted change.

The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

E. DISCUSSION

1. None.

F. ACTION ITEMS

1. **Preliminary Site Plan Amendment – Exopack – 271 River Street**

PP Kester briefly explained the history of the property. The Plan Commission originally approved an expansion to the site on January 10, 2006 with several conditions including resubmission of parking, loading, lighting, drainage, erosion control, stormwater management, and landscaping. These resubmissions and final approvals did not occur. In the summer of 2010, the property was sold to Exopack, at which time staff worked with the owner to develop and approve the required submissions. Approved site improvements were to be installed within 60 days of closing, or Exopack was to enter into a Site Improvement Agreement with the city. Exopack did not implement the required improvements, but later submitted partial plans for a second addition under review at the current meeting. PP Kester stated that staff recommended conditional approval of the site plan with the following conditions:

- That a comprehensive landscaping plan for the entire site be submitted and approved by staff;
- In coordination with the Public Works Department, that the access/railroad track conflict on the west side of the property be addressed either by 1) installation of

shrubs/landscaping or a physical barrier with permission from the railroad or 2) installation of signage and lane striping;

- That the lighting plan be updated to include new lighting for the addition and submitted to staff for approval;
- That Exopack enter into a Site Plan Agreement with financial guarantees as required by ordinance.

Moved by Comm. Sturm and seconded by Comm. Schmidt to approve the site plan amendment with the conditions listed above.

The motion carried.

G. ADJOURNMENT

Motion by Comm. Schmidt, seconded by Comm. Sturm to adjourn at 4:57 p.m.

The motion carried.

Minutes respectfully submitted by Amy Kester, Principal Planner.

ORDINANCE O-18-10
AN ORDINANCE RELATING TO PAVING OF DRIVEWAYS

Introduced by Aldermen Taylor and Zelinski.

The Common Council of the City of Menasha does hereby ordain as follows:

SECTION 1: Amend Title 13, ARTICLE E, SEC.13-1-51(b)(1) and (2) and (e)(3) of the Code of Ordinances of the City of Menasha, Wisconsin as follows:

Title 13 - Zoning

ARTICLE E

Traffic Visibility, Loading, Parking and Access

SEC. 13-1-51 OFF-STREET PARKING.

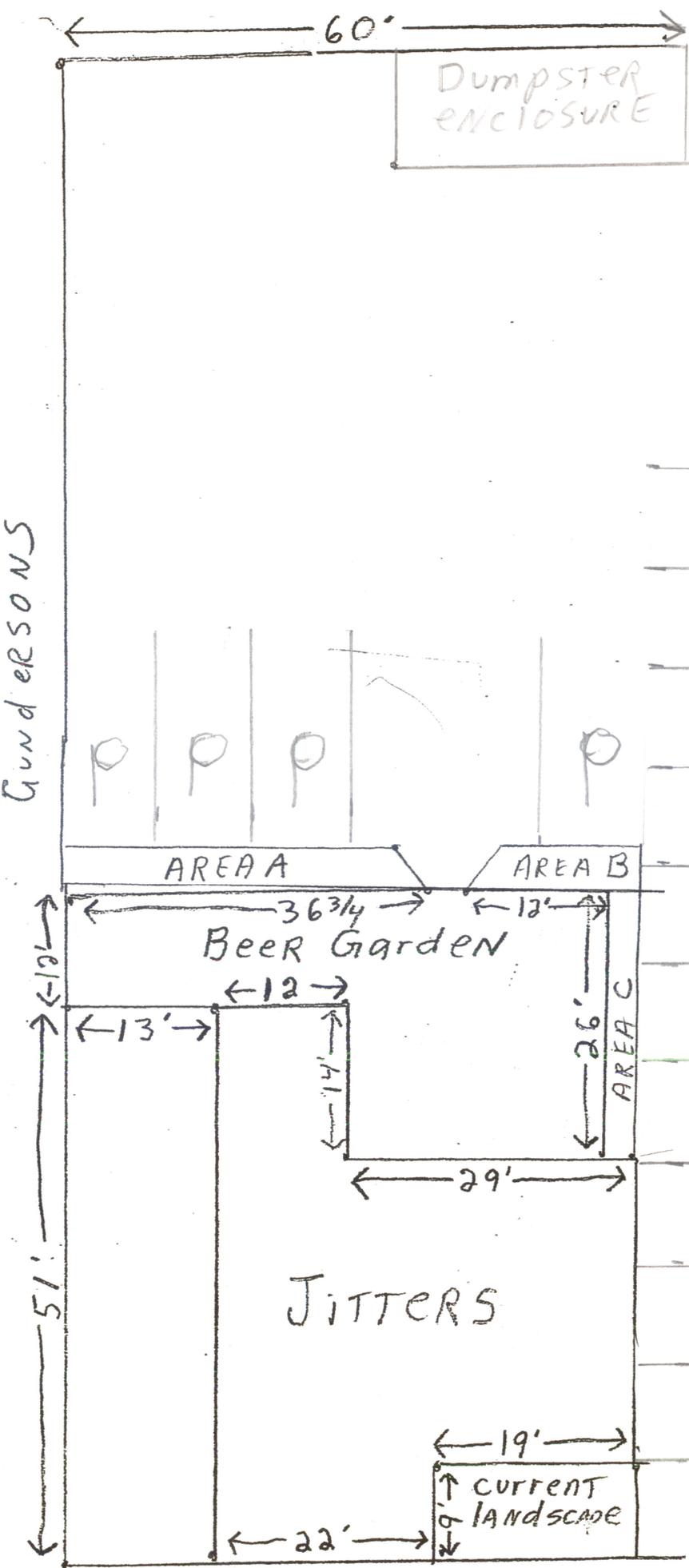
- (b) **DISTRICT REGULATIONS.** The following regulations shall be applied to each of the described zoning districts:
- (1) R-1, R-1 A, R-2 and R-2 A Districts
 - ...
 - e. All driveways, parking areas, and driveway aprons shall be surfaced with asphalt, concrete, brick, or other durable dust-free material acceptable to the Department of Public Works in compliance with the minimum standards set forth in the City of Menasha Driveway Installation Policy as approved by the Common Council. This requirement shall not apply to parking areas utilized solely for storage of recreational vehicles in compliance with Sec. 13-1-52.
 - 1. For new one and two family residential structures, such surfacing shall be completed within nine (9) months of receiving an occupancy permit. Driveway aprons shall be paved within nine (9) months of installation of the permanent street.
 - 2. For residential properties with existing driveways, parking areas, and driveway aprons that are not surfaced with a durable dust-free material, such surfacing shall be completed prior to the sale of the property or within nine (9) months of sale of the property.
 - f. A Driveway Permit from the Department of Community Development and a Grade Request from the Department of Public Works shall be obtained prior to installation of any driveway, driveway extension, or parking area. Permit applications shall include a site plan drawn to scale showing the location and dimensions of the driveway in relation to all property lines, structures, service walks, sidewalks, and street rights of way along with specifications showing proposed materials and cross sectional dimensions.
 - g. An Excavation Permit from the Department of Public Works shall be required prior to installation of any driveway apron per Sec. 6-2-3.

City of Menasha Driveway Installation Policy

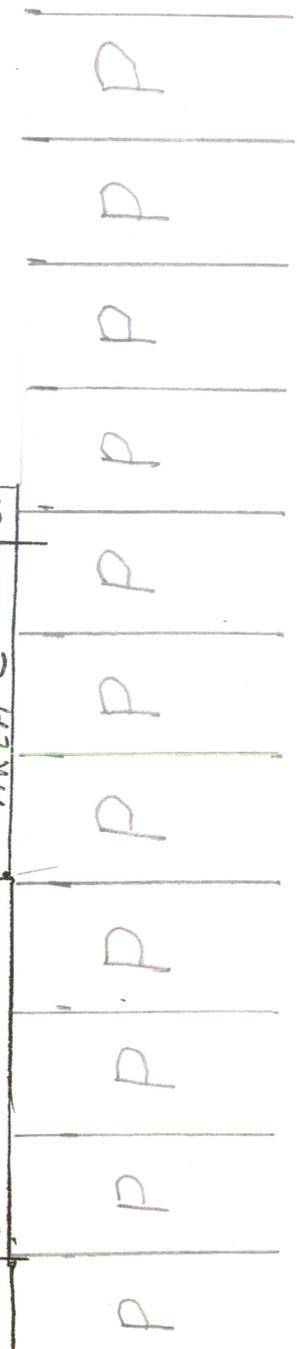
1. This Driveway Installation Policy has been adopted by the Common Council as a supplement to Section 13-1-51(b)(1) of the Municipal Code and applies to R-1, R-2, and R-2A zoning districts. It is intended to assist with interpretation and application of the section but may not cover all situations encountered.
2. A Driveway Permit and Zoning Permit from the Building Inspection Office and a Grade Request from the Department of Public Works shall be obtained prior to installation of any driveway, driveway extension, or parking area. Permit applications shall include a site plan drawn to scale showing the location and dimensions of the driveway or parking area in relation to all property lines, structures, service walks, sidewalks, and street rights of way along with specifications showing the proposed materials and cross sectional dimensions.
3. The following standards shall apply:
 - a. All driveways, driveway extensions, parking areas, and driveway aprons shall be surfaced ("paved") with a durable dust-free material acceptable to the Department of Public Works. Alternative materials shall be approved prior to installation by the Director of Public Works as part of the Driveway Permit application. This paving requirement shall not apply to parking areas utilized solely for storage of recreational vehicles in compliance with Sec. 13-1-52.
 - b. Approved paving materials include concrete, asphalt, brick, and similar durable, dust free materials acceptable to the Department of Public Works. Durable, dust free pervious paving materials specifically designed to reduce stormwater runoff are encouraged and may be utilized upon approval by the Director of Public Works.
 - c. The minimum width of any paved driveway or parking area shall be nine (9) feet. If a property does not have a garage, carport, or rear yard parking area, the property owner shall be required to have a minimum area of 320 square feet of paved area per dwelling unit. The minimum paved area shall be adjacent to the driveway apron.
 - d. The following minimum installation standards shall apply:
 - Concrete shall be finished to a minimum thickness of 4" and installed on a minimum 4" base of ¾' crushed aggregate;
 - Asphalt shall be finished to a minimum thickness of 2 ½" and installed on a minimum 6" base of ¾" crushed aggregate;
 - Paving bricks shall be no less than 2 ¼" thick and installed on a minimum 4" base of approved granular material.

- Similar durable, dust-free materials approved by the Department of Public Works shall be installed in a manner that is consistent with professional installation standards.
- e. The following restrictions apply to the front yard area:
- In no case shall a driveway be widened to extend in front of the dwelling unit in the front setback for parking or driving purposes.
 - Paved pedestrian walkways in the front yard that are immediately adjacent to a driveway and lead to an entry or service door may be approved by the Zoning Administrator and/or designee at the time of permit application. Such walkways may not be utilized for parking or driving purposes.
 - Pavers and similar decorative surfaces installed in the front yard as landscaping or aesthetic amenities shall not be used for parking or driving purposes.
4. Any other areas beyond the minimum requirements that are used for parking or driving purposes must either be paved according to the standards above or converted to a grass/lawn surface by completely removing any gravel or non-conforming driveway surface and installing a minimum of 2" of topsoil prior to seeding.
5. If a driveway is to be completely removed, the driveway apron shall also be completely removed and the area restored to grass/lawn area as stated above and the full curb section reinstalled. Replacing the curb requires an Excavation Permit and must be performed in accordance with City specifications.
6. Repairs to existing hard surfaced driveways shall be made with materials of the same type as the existing hard surface unless the entire driveway is being replaced.
7. Extent of Surfacing Requirements:
- a. All driveway aprons shall be paved in accordance with City specifications.
 - b. When a garage is present, the entire length of driveway from the street right of way to the face of the garage must be paved.
 - c. When a carport is present, the entire length of the driveway from the street right of way along with the base of the carport must be paved.
 - d. When no garage or carport is present, any portion of the driveway or parking area that falls within the front and/or side yards of the property and any portion leading to a rear parking area must be paved.

Maximum rear yard paving?
Shared driveways?

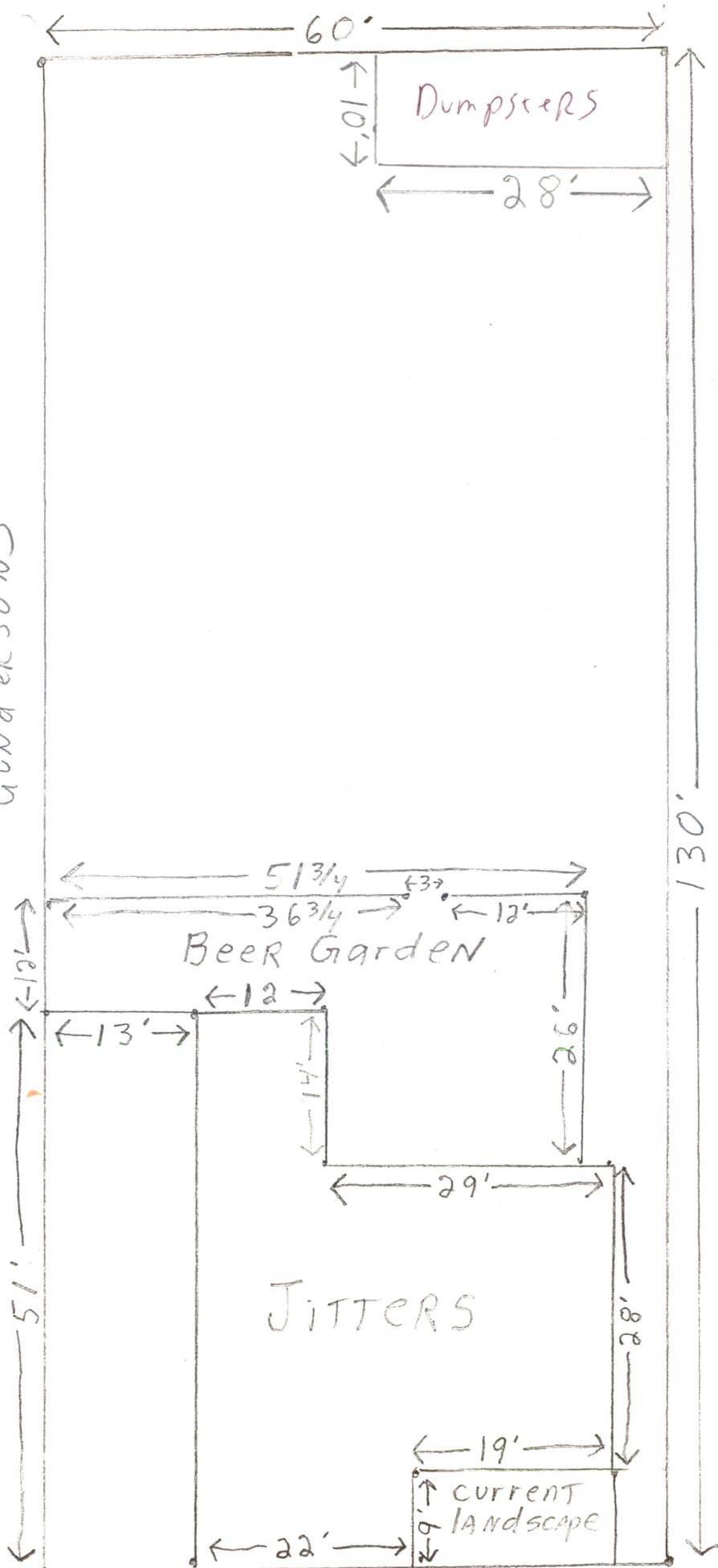


15 PARKING SPOTS
 TO BE 9' Wide
 by 21' Deep



Scale 1" = 15 Feet MAIN ST.

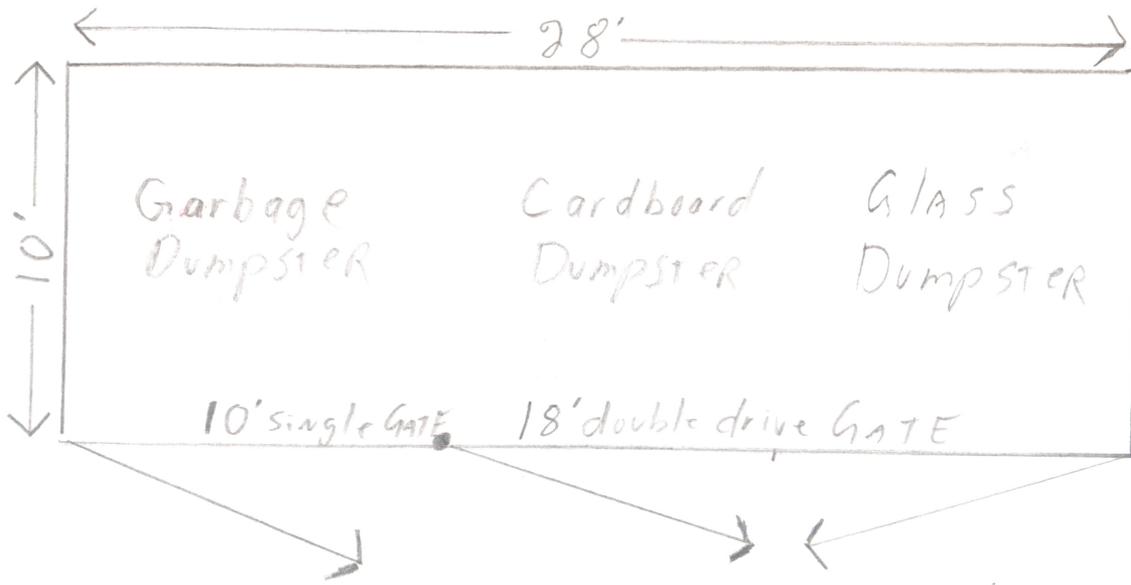
GUND ERSONS



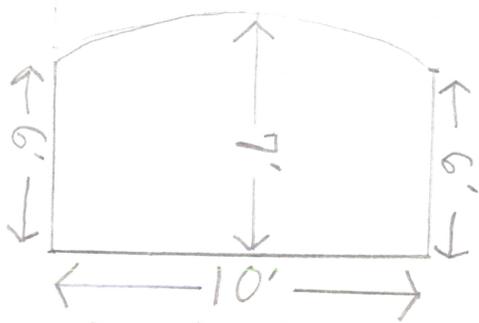
LOCATION of
New Dumpster
ENCLOSURE

Scale 1" = 15 Feet MAIN ST.

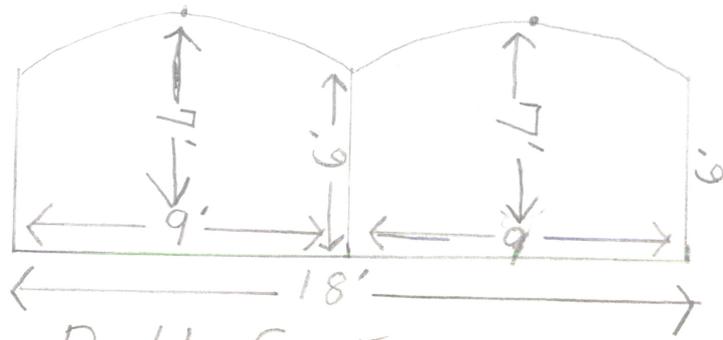
Gate Specifications



All Posts To Be 6"X6" TREATED LUMBER
 Set 4' Deep with 120# CONCRETE



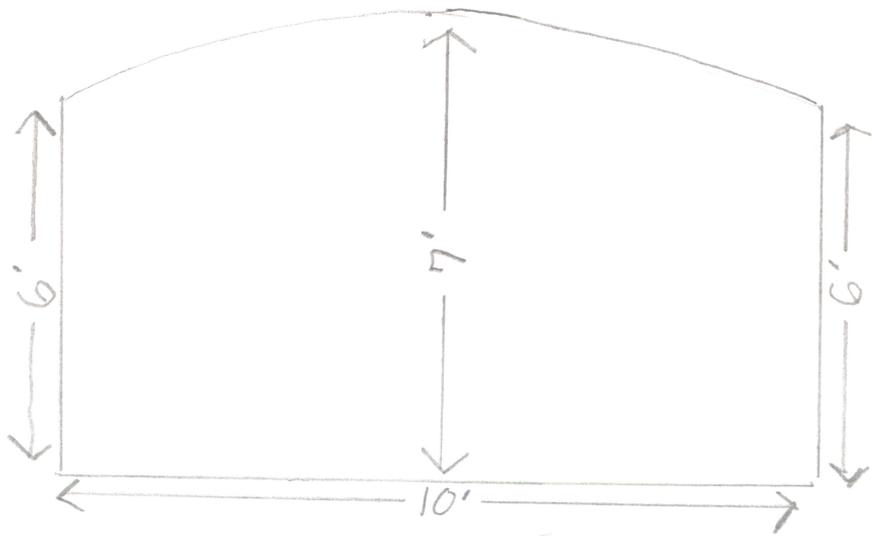
Single GATE



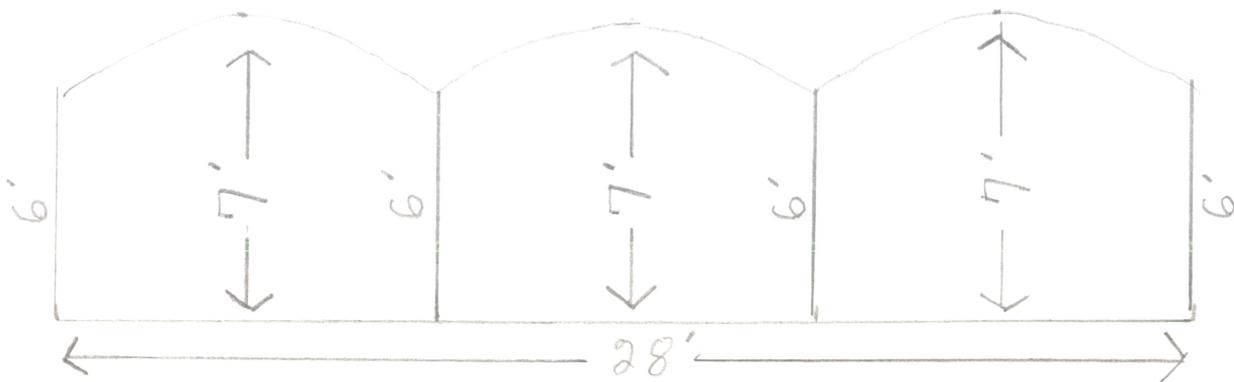
Double GATE

All gates to have 2"X6" TREATED LUMBER FRAMES
 with 5/4" X6" treated vertical Boards spaced
 4" A PART. The inside of the gates will
 also have 5/4" X6" treated vertical Boards spaced
 opposite the exterior.

Both EAST AND WEST 10' Fence Sections Will BE IDENTICAL



South 28' Fence shall Be Similar to East + West with 3 Sections



All Fences to have 2" X 6" Treated Frames With 5/4" X 6" treated Vertical Boards spaced 4" Apart. The inside of the gates will also have 5/4" X 6" treated Vertical Boards spaced opposite the exterior.

Proposal

Security Fence

& SUPPLY CO., INC.

N1357 Municipal Dr., P.O. Box 320, Greenville, WI 54942-0320 (920) 757-7240 FAX 757-7245
 1508 DuBay Ave., Stevens Point, WI 54481 (715) 344-6340 FAX 344-4254
 Wausau (715) 359-7266 Green Bay (920) 435-9060 Oshkosh (920) 231-1472

OFFICE USE ONLY

DATE: **5/19/09** THIS PROPOSAL EXPIRES IF NOT SIGNED AND RETURNED WITHIN **15** DAYS
 PROPOSAL FOR (NAME): **Jitters Bar** CONTACT: **Peter Kemp**
 STREET: **23 Main St.** JOB LOCATION: **Same**
 P.O. BOX:
 CITY, STATE, ZIP: **Menasha, Wi. 54952**
 TELEPHONE: WORK- HOME- **766-3889**
 FAX: MOBILE: **858-6716** E-MAIL:

COMMERCIAL SPECIFICATIONS

Wire..... 9Ga. Galv.	End Post.....	Corner Post..... 3"	Line Post..... 2 1/2"
Top Rail..... 1 5/8"	Gate Post..... 4"	Barbed Wire.... n/a	Drive Set..... 4'
Tension Wire.... n/a	Bottom Rail..... n/a	Mid Rail..... n/a	Concrete Set... 4'

#1 - Furnish and install (1) 13'x 6' double drive gate with vertical PVC slats. 4" posts set in concrete footings.
 Total \$ 1,233.00

#2 - Furnish and install 13 l.f. of 6' galvanized chain link fence with vertical PVC slats. All posts driven 4' deep.
 Total \$ 636.00

#3 - Furnish and install a 18'x 10'x 6' high dumpster enclosure including (1) 18' double drive gate. 4" gate posts set in concrete footings. All others drive 4' deep. All with vertical PVC slats.
 Total \$ 2,530.00

#4 - Furnish and install a 28'x 10'x 6' high dumpster enclosure including (1) 18' double drive gate and (1) 10' single gate. 4" gate posts set in concrete footings. All others driven 4' deep. All with vertical PVC slats.
 Total \$ 3,464.00

OWNER'S RESPONSIBILITY

1. LOCATE YOUR PROPERTY LINES
2. SECURE FENCE PERMIT IF NEEDED
3. CHECK LOCAL ORDINANCES
4. LOCATE PRIVATE UNDERGROUND UTILITIES (i.e. pool lines, sprinklers etc.)

Job scheduling process commences AFTER receipt of signed contract or Purchase Order.

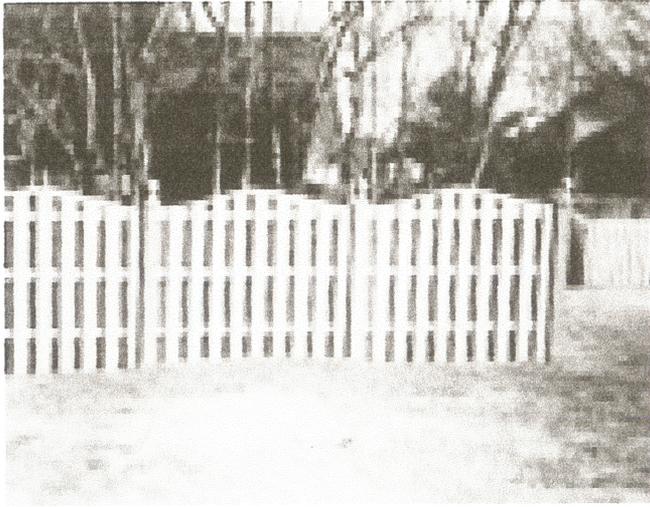
TERMS OF PAYMENT: **UPON COMPLETION: \$** MC/VISA # Exp.

This Proposal presented on behalf of SECURITY by: *Steve Walter*

Acceptance of Proposal

The above prices, terms and specifications together with the TERMS AND CONDITIONS ON THE REVERSE SIDE HEREOF WHICH THE UNDERSIGNED HAS READ are hereby accepted and agreed.

Please sign and return ONE copy Signature: _____
 Date Signed: 20__ If signed in a representative capacity, complete reverse side information.

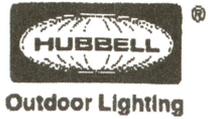


BASIC Design of fence FOR
DUMPSTERS Fencing

S9/S12 SERIES

VANDAL RESISTANT FIXTURES

Cat. # S12-84F		Approvals
Job	Type	



APPLICATIONS

- Ceiling/canopy lighting. Safety and security illumination for parking garage, entrance canopies, stairwells, building eaves.

SPECIFICATIONS

- Die cast aluminum housing with 1/2" conduit hubs.
- Vandal resistant prismatic polycarbonate refractor.
- Bronze powder paint finish on H.I.D. units.
- Medium base or compact fluorescent lamps included.
- Typical mounting height ranges from 8 to 15 feet.

LISTINGS

S9/S12 Series

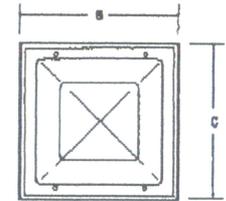
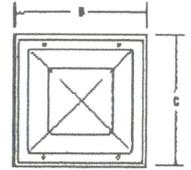
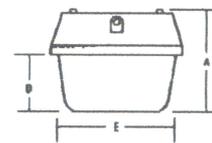
UL wet location listed for wall on ceiling mount.
Center pin torx screws are standard.



S9-42F



S12-84F



	A	B	C	D	E
S9 H.I.D.	7.09"	8.858"	8.858"	4.1"	8.5"
	180 mm	225 mm	225 mm	104 mm	216 mm
S12 H.I.D.	8.858"	12.362"	12.362"	5.3"	11.8"
	225 mm	314 mm	314 mm	135 mm	300 mm

*CFL units are low profile with no ballast box or conduit hubs. Use B, D & E dimensions above.

ORDERING INFORMATION

Catalog Number ¹	Description	Voltage	Finish	Weight	
				lbs	kg
WET LOCATION: CEILING/WALL MOUNT COMPACT S-9					
S9-42F	42W Fluorescent	120, 208, 240, 277	-	4	(1.8)
S9-70H	70W Pulse Start	120, 208, 240, 277	Bronze	10	(4.5)
S9-70S	70W High Pressure Sodium	120, 208, 240, 277	Bronze	10	(4.5)
WET LOCATION: CEILING/WALL MOUNT MID-SIZE S-12					
S12-84F	2X42W Fluorescent	120, 208, 240, 277	-	8	(3.6)
S12-100H	100W Pulse Start	120, 208, 240, 277	Bronze	15	(6.8)
S12-150P	150W Pulse Start	120, 208, 240, 277	Bronze	16	(7.3)
S12-150S	150W High Pressure Sodium	120, 208, 240, 277	Bronze	16	(7.3)

¹ Lamp included on all units.

REPLACEMENT PARTS (order as separate part #, field installed)

Catalog Number	Description
SMD09-LENS	Refractor only for S9 units
SMD12-LENS	Refractor only for S12 units

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • PHONE: 864-678-1000

For more information visit our web site: www.hubbell-htg.com



BEER GARDEN JITTERS MENASHA

Quote Number: 3024966



Appleton • 2415 W Spencer St • Appleton, WI 54914-4632 • Fax: (920) 734-5393 • General: (920) 734-4517

Quoted To: CASH SALE
PETER KEMPS
Email: trweil@cesco.com
Project: 76778 - BEER GARDEN JITTERS
MENASHA

Reply To: TERRY WEILAND
Email: terry.weiland@cesco.com
Fax: (920) 734-5393
Branch: (920) 734-4517

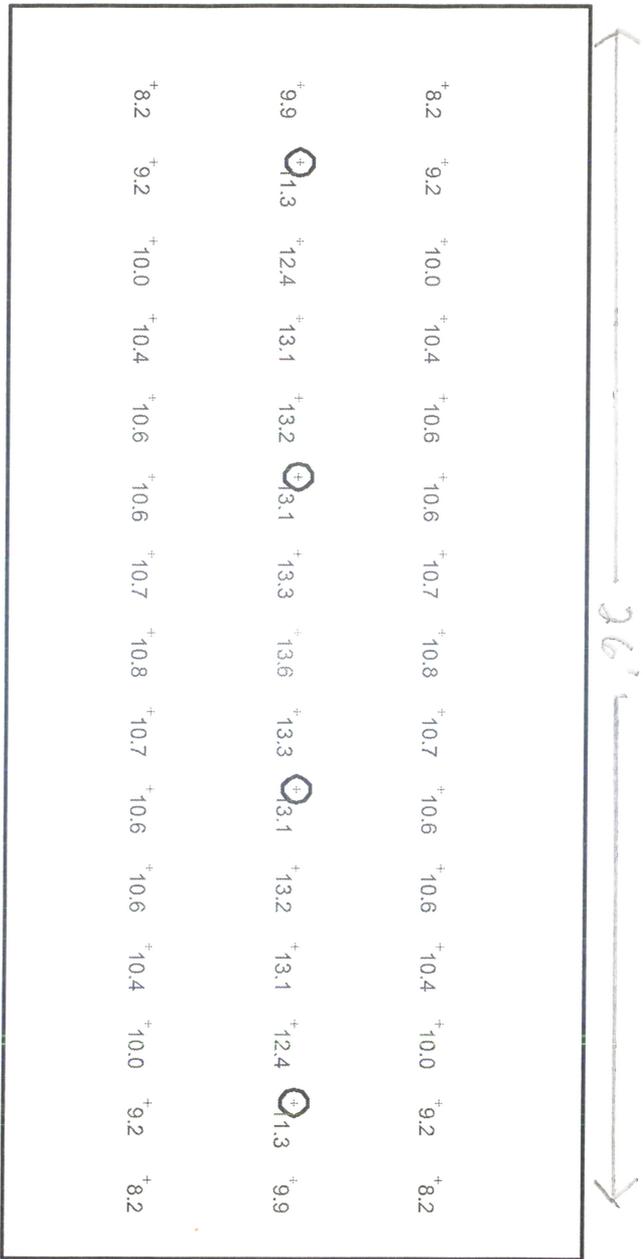
(Marking Type) Product	Quantity	Price/UOM	Extended
(A) IC22A JNO 6IN HOUSING UNIV RND JUNO LIGHTING INC	4	\$9.67 / E	\$38.68
(A) 24W-WH JNO TRIM WHT UNIV RND BAFFLE JUNO LIGHTING INC	4	\$11.25 / E	\$45.00
(A) FLE26HT3/2/827 GE COMPACT FLUOR LMP GE LAMPS	4	\$4.53 / E	\$18.13
Total for BEER GARDEN JITTERS MENASHA			\$101.81

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Workplane	+	10.8 fc	13.6 fc	8.2 fc	1.7:1	1.3:1

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	LM-1	4	602 (26TRT)	6" OPEN DOWNLIGHT WITH WHITE REFLECTOR.	ONE 26-WATT TRIPLE TUBE COMPACT FLUORESCENT, VERTICAL BASE-UP POSITION.	Lt19759.IES	1800	0.70	29



Plan View
Scale 1" = 4'



Designer

Date
May 22 2009

Scale

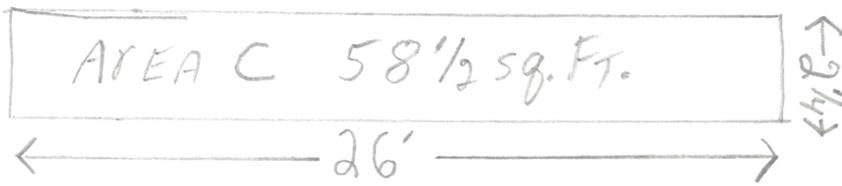
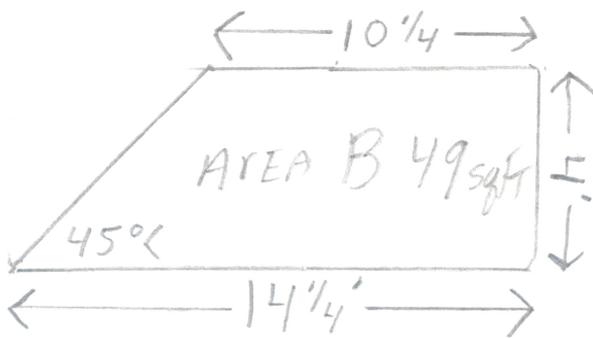
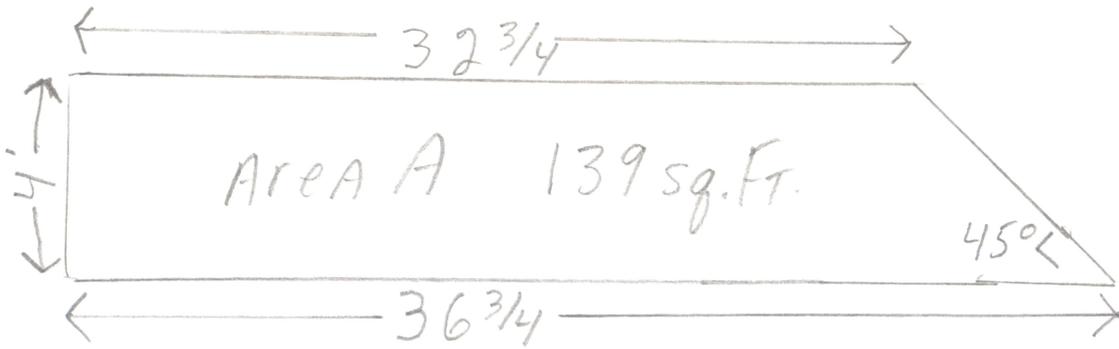
Drawing No.

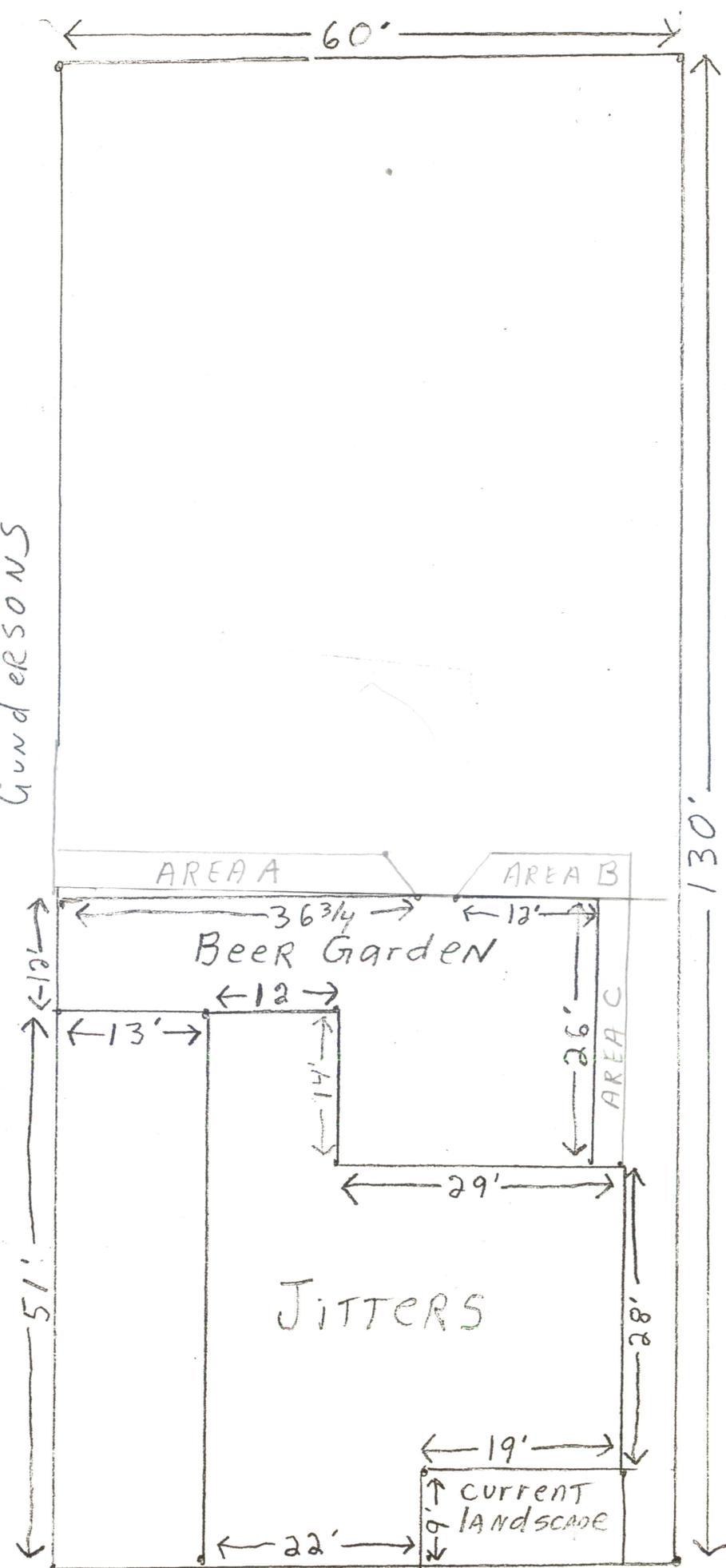
VAN BUSKIRK & SON NURSERY

624 ~~605~~ Airport Road
 MENASHA, WI 54952
 Phone 722-5731

SOLD BY		DATE		19
NAME			PHONE	
JITTERS BAB				
ADDRESS				
MENASHA				
CITY				
<input type="checkbox"/> CASH	<input type="checkbox"/> CHARGE	<input type="checkbox"/> MOSE. RETD.	PREVIOUS BALANCE ▶	
<input type="checkbox"/> C.O.D.	<input type="checkbox"/> PAID OUT	<input type="checkbox"/> PD. ON ACCT.		
4	PYR ARBORVITAE - 4'			
4	COTONEASTER - 2 1/2 - 3'			
5	ALPINE CURRANT - 18-24"			
2	HYDRANGEA - 15"			
3	Sp. PEWS - 15-18"			
1	Red Dogwood - 2 1/2 - 3'			
2	JUNIPER SEA GREEN 15-18"			
1	low JUNIPER 15-18"			
3	Hasta Wide Brim			
1	Rock			
1	Burring Bush - 3'			
3	SPIREA - 15"			
1	JUNIPER SEA GREEN 15-18"			
2	Day Lilly			
3	Hasta Francee			
				# 1200.00 - \$1400.00
COVER BEDS with MISS. STONE				
Thank You!			RECEIVED BY	

New Landscape Areas





Lot Size 60' X 130'
7,800 sq FT.

5% of 7800 = 390 sq ft

Existing landscaping

19' X 9' = 171 sq. Ft.

Area A = 139 sq. Ft

Area B = 49 sq. Ft

Area C = 58 1/2 sq. Ft

Total Area 417 1/2 sq ft
of landscaping

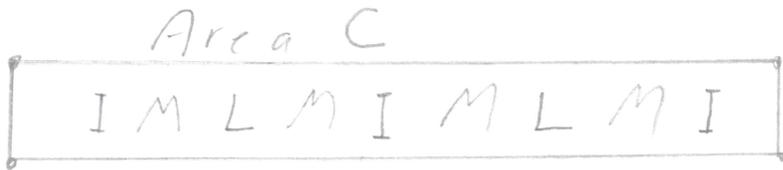
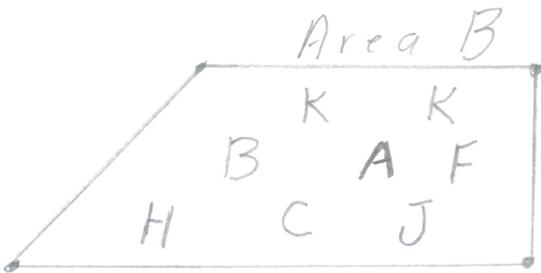
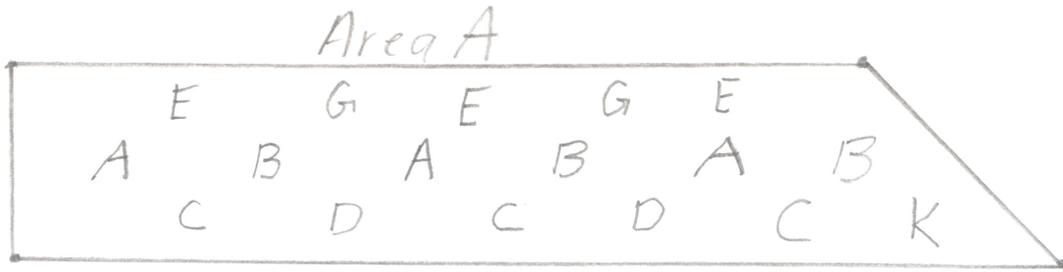
AREAS A,
B, & C are New
landscape Areas

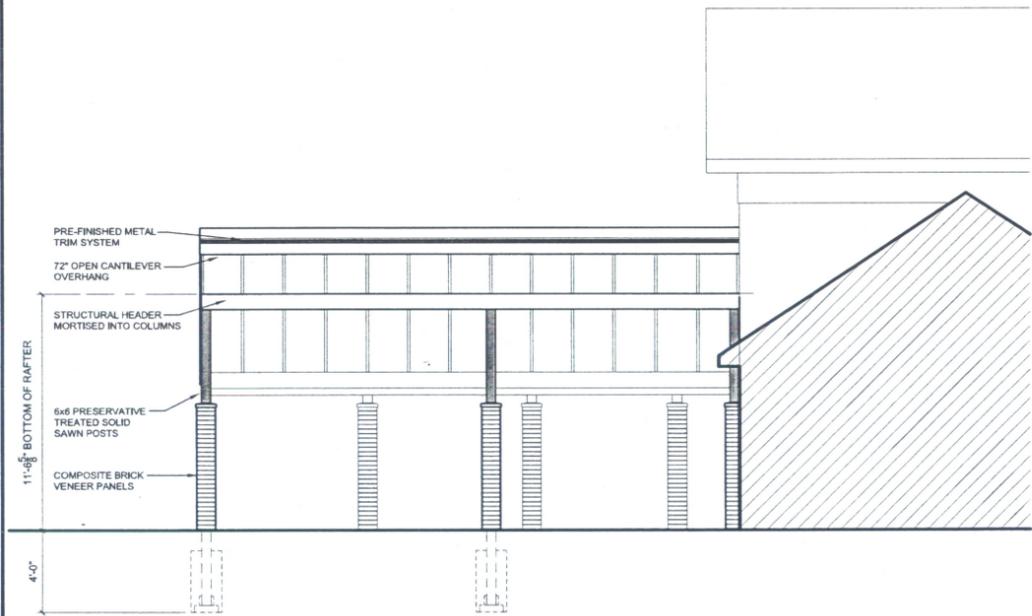
Scale 1" = 15 Feet MAIN ST.

PLANT SPECIFICATIONS

- A. Pyramidal Arborvitae - 4' tall, grows to 12' evergreen tree with bright green foliage
- B. Cotoneaster - 2½-3' tall low shrub, glossy green foliage, red fruits
- C. Alpine Currant 18-24" tall, compact mound forming shrub, grows 3'-6' tall
- D. Hydrangea Moonlite, 15" Bright Pink Flowers, very hardy grows 3' tall
- E. Spirea Lewis 15-18", Beautiful white flowers with 2-3' Feet
- F. Red Dogwood 2½-3' Pretty Pink and Red Blossoms in spring, matures to a height of 12'
- G. Juniper Seagreen 15-18" compact growth habit, foliage dark mint green
- H. Low Juniper Gold Lace, dark forest green foliage, new growth vibrant yellow
- I. Hosta Wide Brim 12-18" Dark green leaf outlined in yellow 2-3' tall
- J. Burning Bush - 3' Dark green leaves spring and summer turning bright red in fall
- K. Spirea Meadow Sweet 15" green ferny foliage, pink feathery blooms in midsummer
- L. Daylily Serenity 12-18" tall Bright green foliage with pretty yellow flowers, very hardy
- M. Hosta Francee 12-18" green leaves with white edges, 2-3' tall

Plant Locations





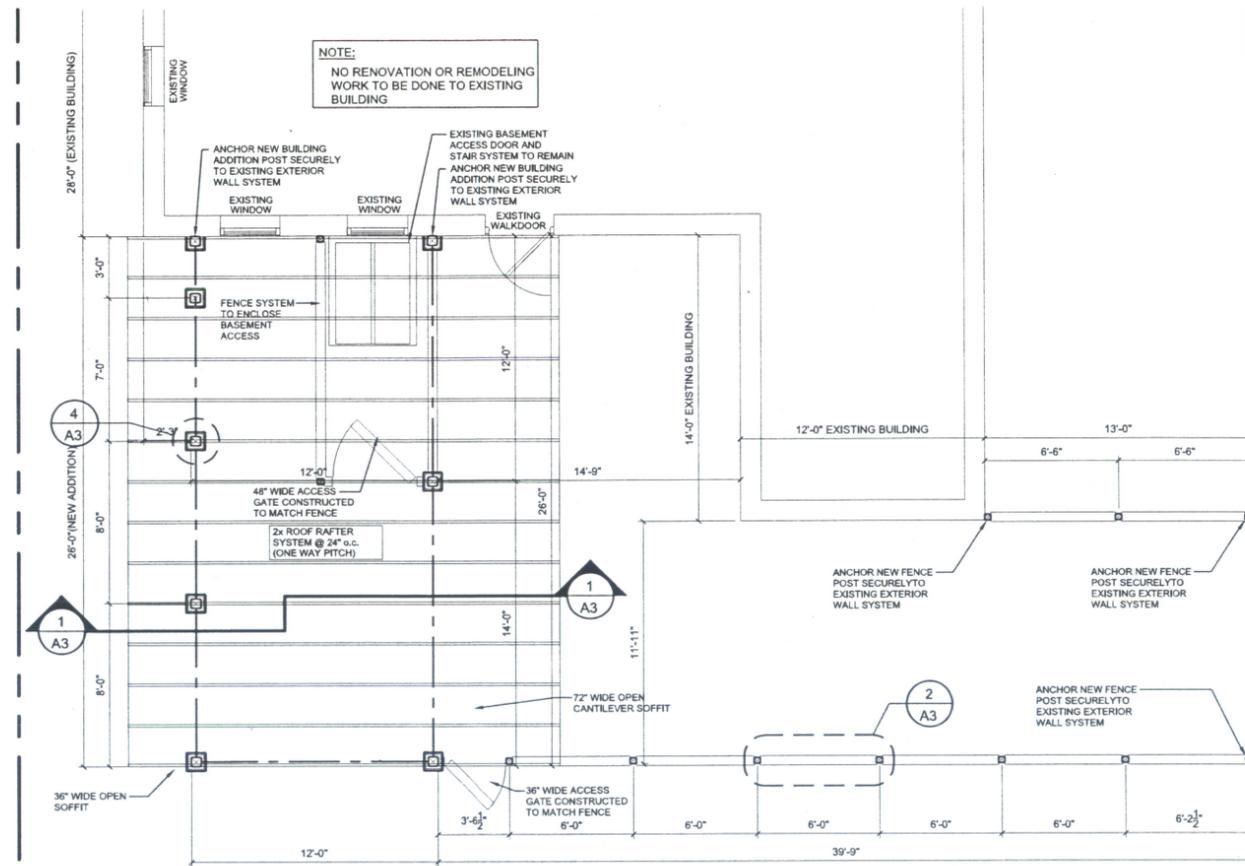
EAST ELEVATION

SCALE: 1/4" = 1'-0"



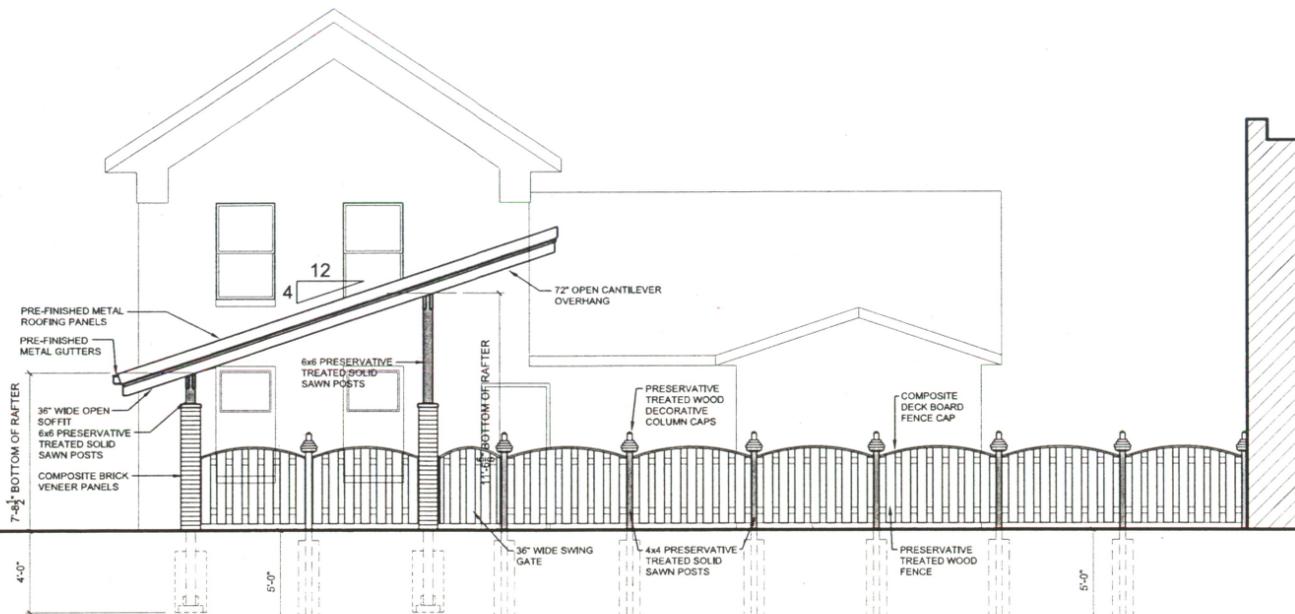
WEST ELEVATION

SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	COMMENTS
DATE	

Dorsch Designs, LLC.

331 Houston Street
Ripon, Wisconsin 54971
Phone (920) 295-9407



PROJECT: NEW PAVILION
OWNERS: JITTERS LOUNGE
MENASHA, WISCONSIN

DRAWN BY:
GAVIN DORSCH

CHECKED:

DATE DRAWN
OCT. 18, 2010

SCALE:
AS SHOWN

A2
SHEET OF .