

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**May 3, 2011
3:30 PM**

AGENDA

- A. CALL TO ORDER
- B. ROLL CALL/EXCUSED ABSENCES
- C. MINUTES TO APPROVE
 - 1. [Minutes of the April 19, 2011 Plan Commission Meeting](#)
- D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA
Five (5) minute time limit for each person
- E. DISCUSSION
 - 1. Status of Driveway Ordinance
- F. ACTION ITEMS
 - 1. [Site Plan Amendment – Community Clothes Closet – 1465 Opportunity Way](#)
 - 2. [Site Plan Amendment – Minimax Storage – 1840 Bud Drive](#)
- G. ADJOURNMENT

CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
April 19, 2011
DRAFT MINUTES

Public Hearing – TID # 12 Project Plan and Boundary

No one spoke.

A. CALL TO ORDER

The meeting was called to order at 3:30 p.m. by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Commissioners Schmidt, Cruickshank, Homan and Sturm, DPW Radtke and Ald. Benner

PLAN COMMISSION MEMBERS EXCUSED:

OTHERS PRESENT: CDD Keil, Tom Vandeyacht, Jim Slezak, Chuck Krause, Ald. Dan Zelinski, Ald. Steve Krueger, Ellen Maxymek and Tom Maxymek

C. MINTUES TO APPROVE

1. **Minutes of the March 8, 2011 Plan Commission Meeting**

Motion by Ald. Benner, seconded by DPW Radtke to approve the March 8, 2011 Plan Commission meeting minutes. The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. Ellen Maxymek commented on the potential negative impacts of the proposed development of the vacant land west of the existing Lake Park Villas development.

E. DISCUSSION

1. **Conceptual Site Plan for Automobile Sales at 835 Oneida Street**

Chuck Krause, owner of the site, discussed the preliminary site plan and stated that it is his intention that the car sales lot be a transitional use.

Commissioners discussed:

- On-site stormwater management
- Site access and its relationship to the adjoining Kwik Trip
- Future use of the property
- Adjoining land uses and wetlands considerations

CDD Keil stated that a Special Use Permit is required for automobile sales lots. Mr. Krause will need to submit an application and provide a fully developed set of plans in support of the application for his proposal to move forward.

2. **Sign Illumination Standards**

Tom Vandeyacht, site owner of 700 Midway Road and Jim Slezak from Appleton Sign explained the aesthetic and practical issues relative to the standards in the city's sign code relative to internally lit signs. The specific concerns relate to the required opacity of light colored sign backgrounds in multi-tenant signs when only one of the sign panels is being changed-out. This gives the appearance of the sign lighting not working properly.

Plan Commissioners discussed the differing impacts of the lighting requirements for single vs. multi-tenant signs and the desirability of creating standards for each type. CDD Keil is to make a determination regarding the sign panel insert at this address and prepare ordinance language clarifying the lighting/opacity standards for multi-tenant signs.

3. **Acquisition of 121 Washington Street**

CDD Keil stated that there have been discussions with the owner regarding acquisition by the city. The primary purpose of the acquisition would be to clean-up the site as it is located in a gateway corridor. The owner lives out of state and has a difficult time ensuring that the site is properly maintained. The site has petroleum contamination and about \$10,000 of clean-up work remains. The clean-up is PECFA eligible and the owner would be responsible for 5% of the clean-up cost.

Commissioners discussed the desirability of improving the Washington Street corridor as a gateway into the community, PECFA clean-up costs and future liability, and the long range benefits of securing the property.

It was the consensus of the Plan Commission that staff should continue to pursue acquisition.

F. ACTION ITEMS

1. **Plan Commission Resolution 1-2011 Recommending Approval of the Project Plan and Boundary of Tax Increment District #12**

CDD Keil reviewed the background leading up to the development of the project plan. TID #12 is being proposed as a means of stimulating development in Lake Park Villas (LPV). The debt associated with the original phases of the LPV development was intended to be supported by lot sales. Since the city hasn't sold a lot in over 3 years, this debt is now being placed on the general tax levy.

Commissioner's discussed:

- The various phases of the new development
- Its relationship and impact on the existing residential area
- The character, quality and density of development
- Future street and pedestrian access
- Extending the existing trail system

Motion by DPW Radtke, seconded by Catherine Cruickshank to approve Plan Commission Resolution PC 1-2011 Recommending Approval of the Project Plan and Boundary of TID #12 to the Common Council. The motion carried.

G. ADJOURNMENT

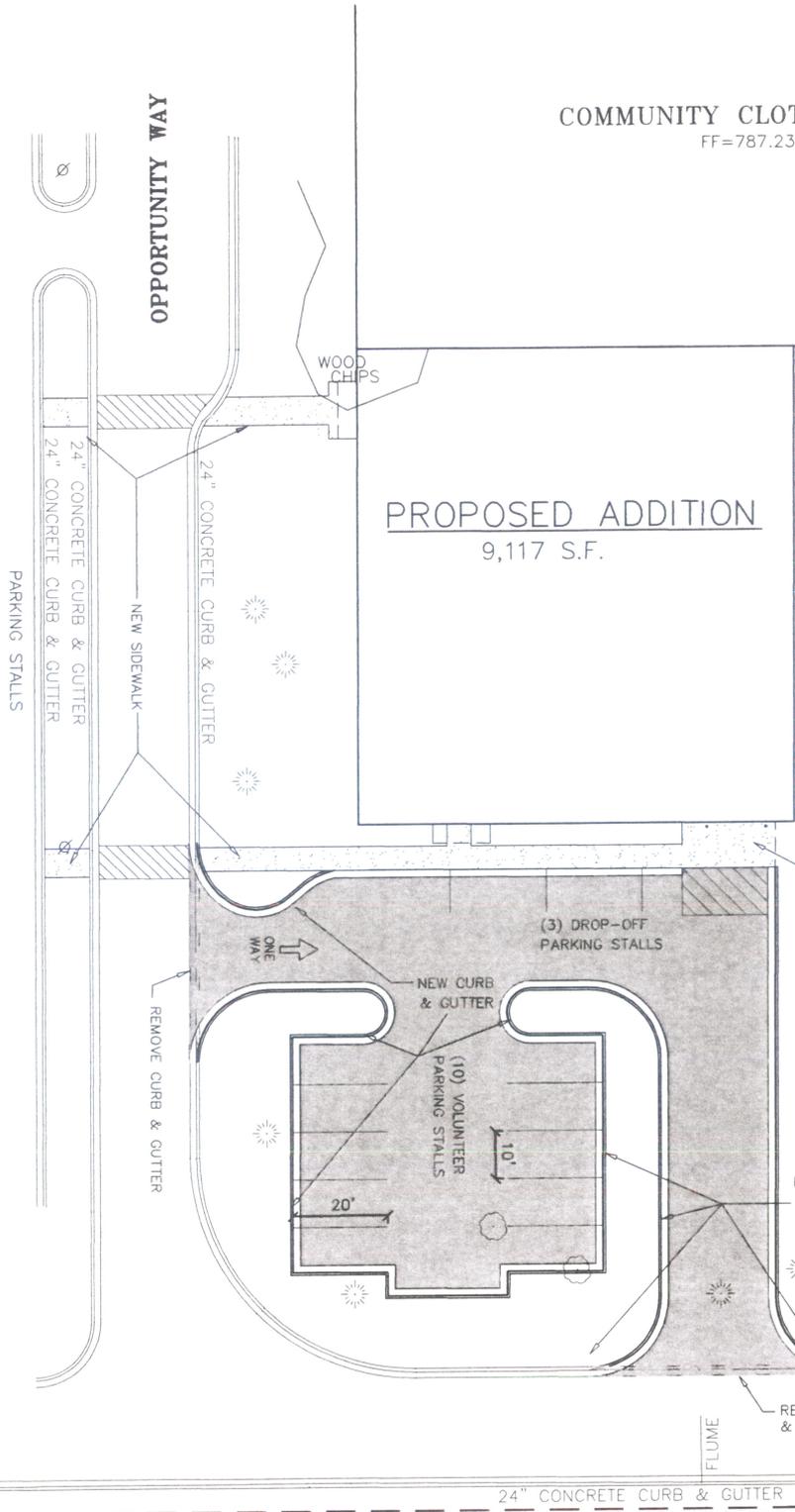
Motion by Ald. Benner, seconded by DPW Radtke to adjourn at 5:10 p.m. The motion carried.

Minutes respectfully submitted by Greg Keil, CDD.

COMMUNITY CLOTHES

COMMUNITY CLOT
FF=787.23

| INDEX OF SHEETS | |
|-----------------|--|
| PAGE# | DESCRIPTION |
| C1.0 | SITE PLAN |
| C2.0 | DRAINAGE, UTILITY & EROSION CONTROL PLAN |
| C3.0 | LANDSCAPE PLAN |
| C4.0 | STANDARD DETAILS |

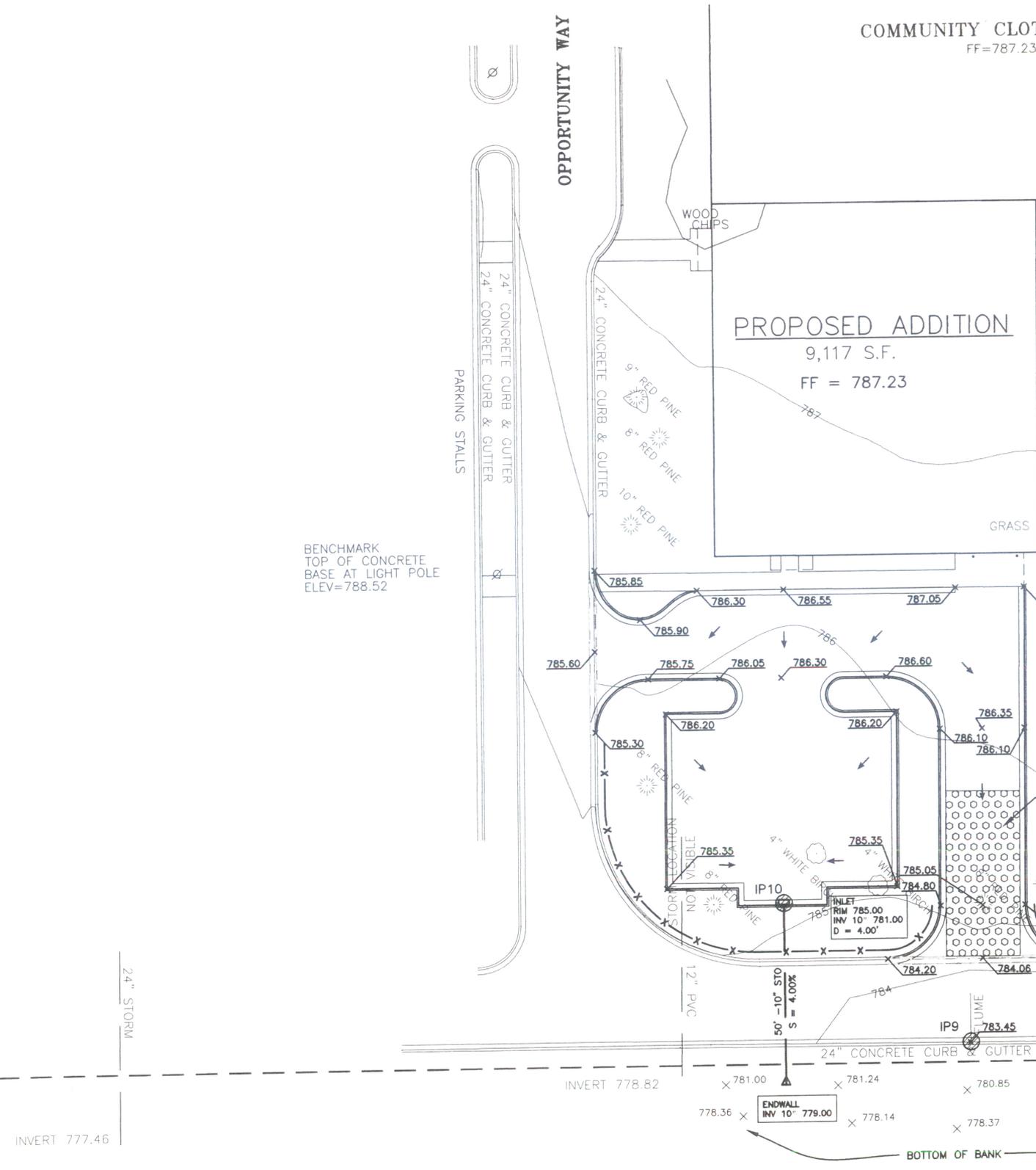


BENCHMARK
TOP OF CONCRETE
BASE AT LIGHT POLE
ELEV=788.52

24" CONCRETE CURB & GUTTER

COMMUNITY CLOTHES CLOSET: DRAINAGE

COMMUNITY CLOSET
FF=787.23



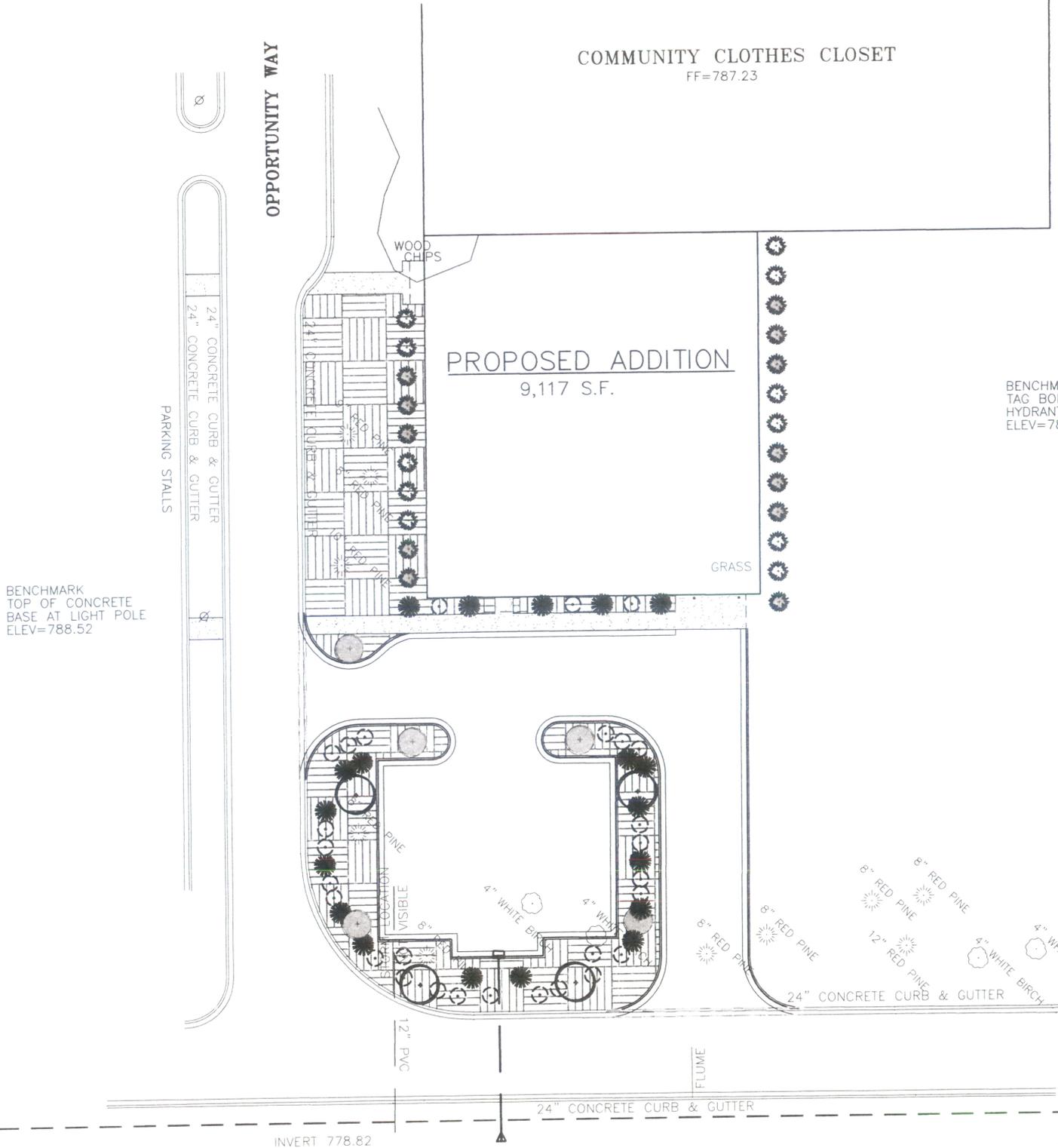
BENCHMARK
TOP OF CONCRETE
BASE AT LIGHT POLE
ELEV=788.52

DRAINAGE PLAN NOTES:

1. THE CONTRACTOR SHALL REMOVE TOPSOIL FROM THE SITE. ONLY TOPSOIL NEEDED FOR RESTORATION SHALL BE STOCKPILED ON SITE.
2. THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
3. ALL GRADES SHOWN ARE CURB FLOW LINE OR EDGE OF PAVEMENT

COMMUNITY CLOTHES CL

COMMUNITY CLOTHES CLOSET
FF=787.23



BENCHMARK
TAG BOLL
HYDRANT
ELEV=78

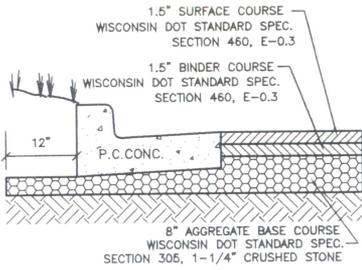
BENCHMARK
TOP OF CONCRETE
BASE AT LIGHT POLE
ELEV=788.52

PLANT LIST

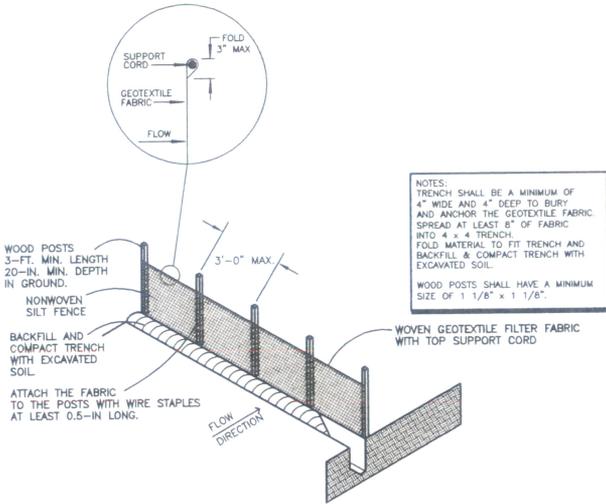
| COMMON NAME | BOTANICAL NAME | SIZE | QTY. | ROOT | SPACING (FL O.C.) | SIZE AT MATURITY | |
|---------------------------|----------------------------------|-----------|------|--------|----------------------|------------------|-------|
| | | | | | | HGT. | WIDTH |
| GREEN VELVET BOXWOOD | BUXUS MICROPHYLLA 'GREEN VELVET' | 24" HGT. | 11 | B&B | 8 | 4 | 4 |
| EMERALD CAROUSEL BARBERRY | BERBERIS 'EMERALD CAROUSEL' | 18" HGT. | 12 | POTTED | 8 | 5 | 5 |
| EVERLOW YEWE | TAXUS X MEDIA 'EVERLOW' | 18" HGT. | 28 | POTTED | 8 / 5 | 2 | 4 |
| GOLD TIDE FORSYTHIA | FORSYTHIA 'GOLD TIDE' | 18" HGT. | 19 | POTTED | 8 / 5 | 3 | 5 |
| NORTHWOOD RED MAPLE | ACER RUBRUM 'NORTHWOOD' | 2.5" CAL. | 4 | B&B | - | 70 | 50 |
| BOULEVARD AMERICAN LINDEN | TILIA AMERICANA 'BOULEVARD' | 2.5" CAL. | 5 | B&B | - | 60 | 30 |



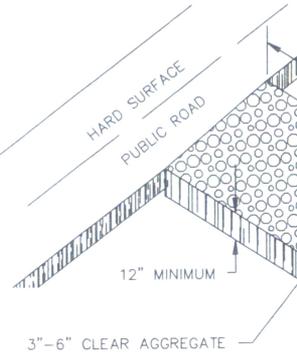
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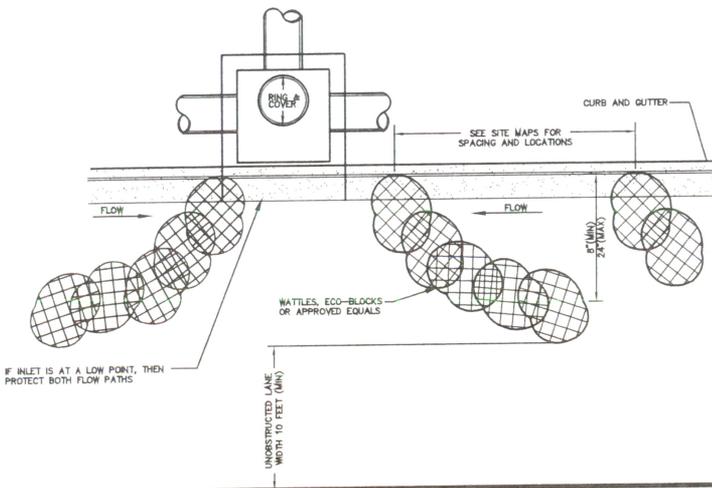
**STANDARD DUTY
ASPHALT PAVING**



SILT FENCE DETAIL



**TRACKING P
(CONSTRUCTION EN**

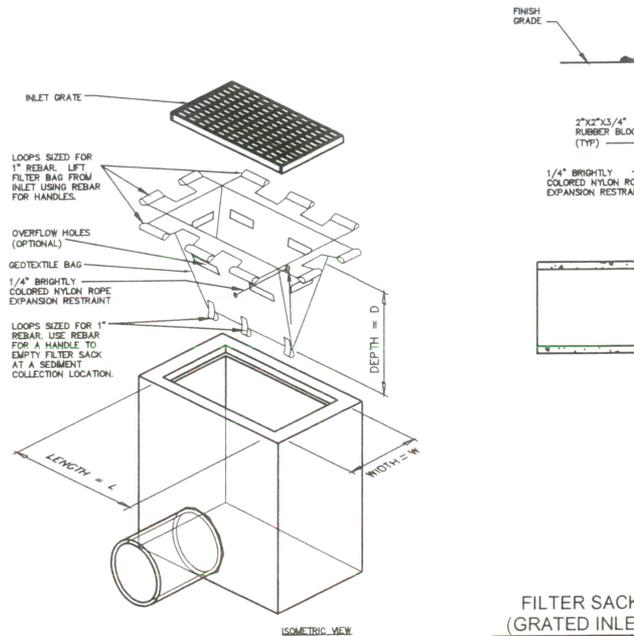


NOTE:
TO BE USED ON PAVED SURFACES.

J-HOOK CURB TRAP

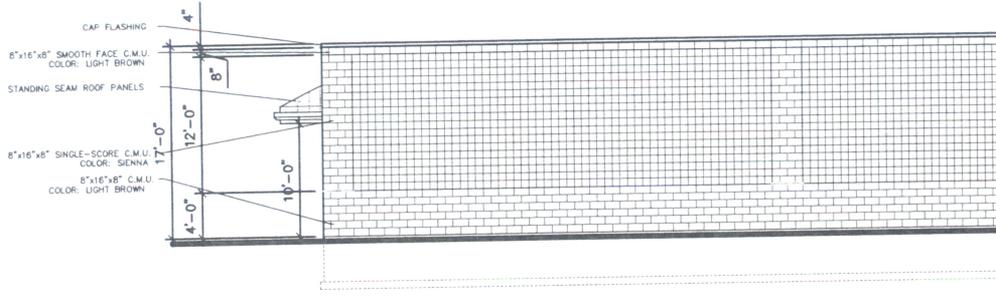
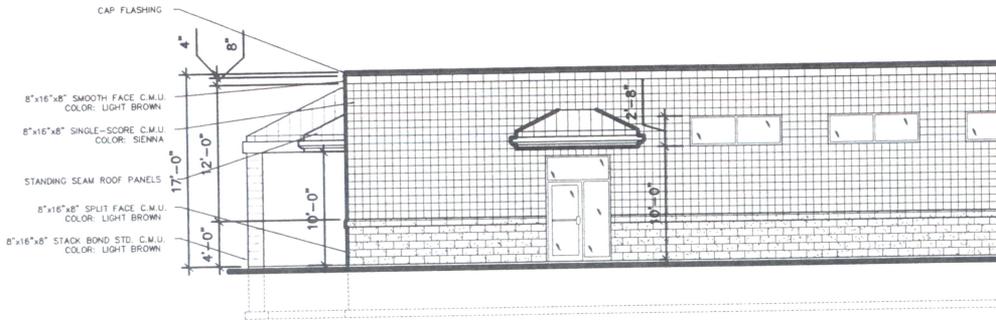
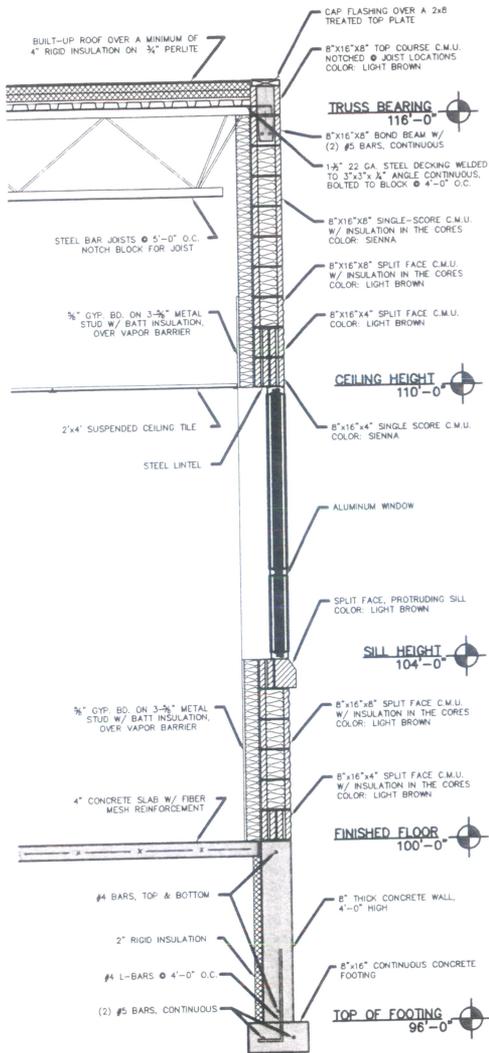
N.T.S.

(P9)

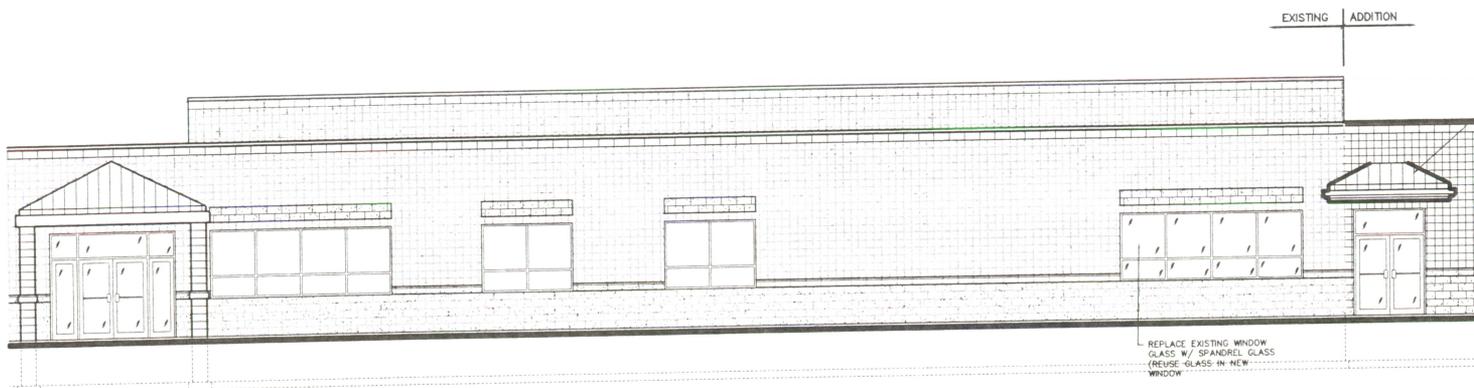


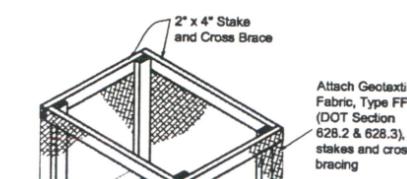
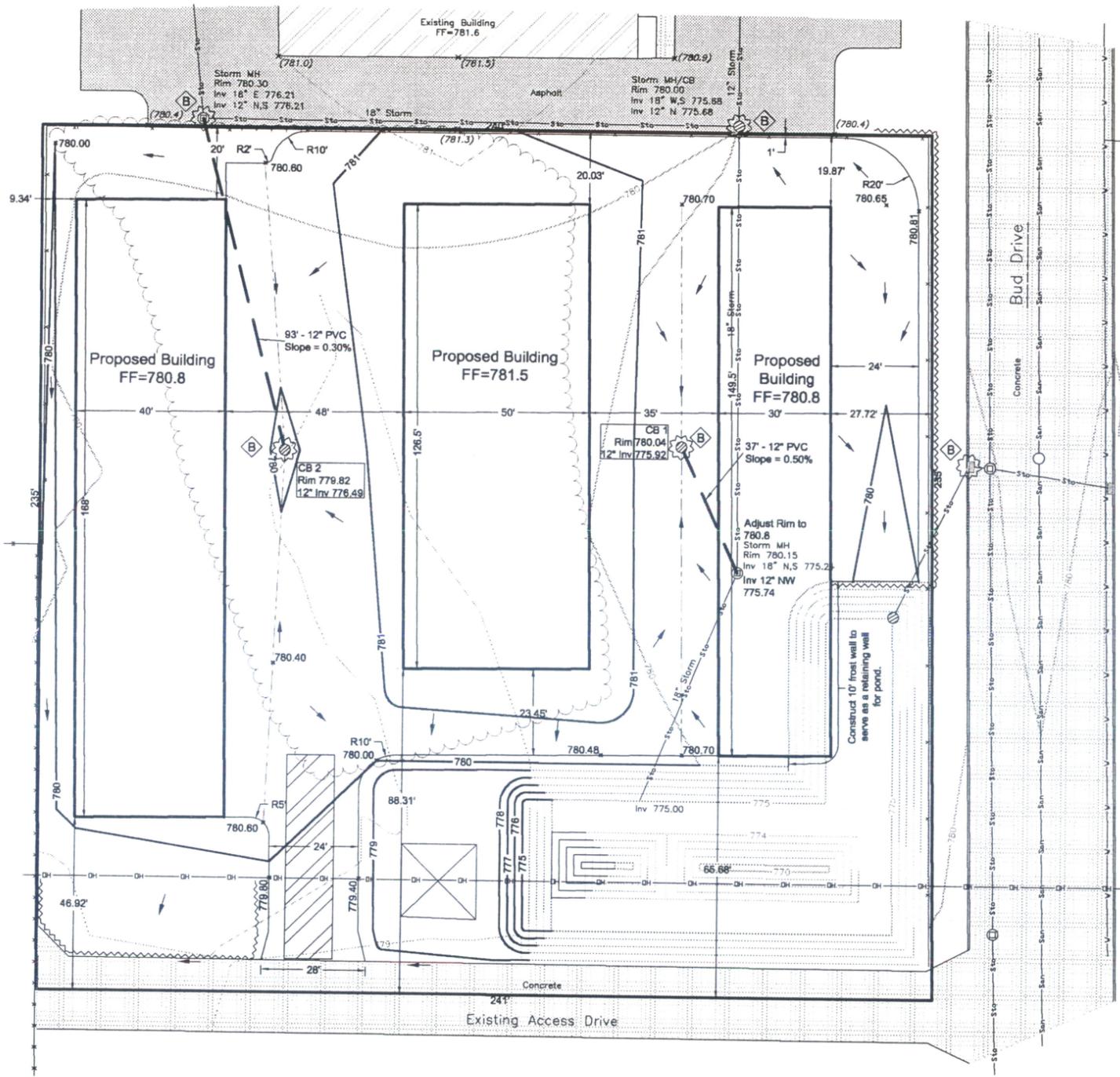
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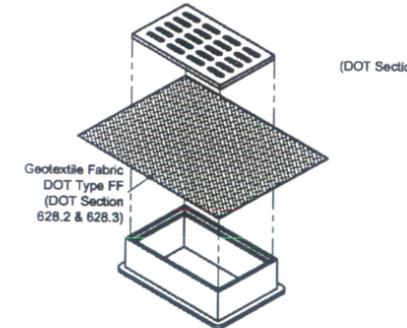


1 WALL SECTION
A3.0 1/2"=1'-0"



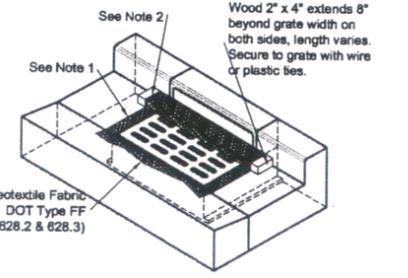


INLET PROTECTION, TYPE A



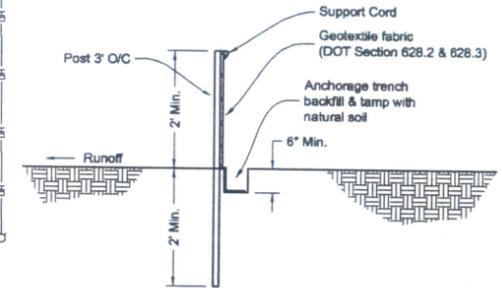
INLET PROTECTION, TYPE B
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES:
Inlet protection devices shall be maintained or replaced at the discretion of the engineer.
Manufactured alternatives approved and listed on the DOT Erosion Control Product Acceptability list may be substituted.
When removing or maintaining inlet protection, care shall be taken so that the sediment trapped on the geotextile fabric does not fall into the inlet. Any material falling into the inlet shall be removed immediately.
1. Finished size, including flap pockets where required, shall extend a minimum of 10' around the perimeter to facilitate maintenance or removal.
2. For inlet protection, Type C (with curb box), an additional 10' of fabric is wrapped around the wood and secured with staples. The wood shall not block the entire height of the curb box opening.
3. Flap pockets shall be large enough to accept wood 2x4.

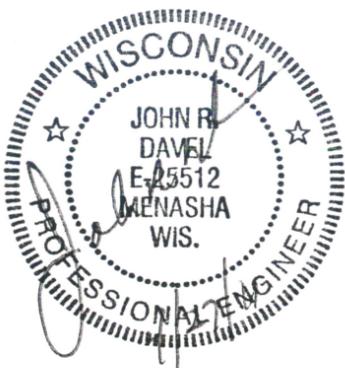


INLET PROTECTION, TYPE C

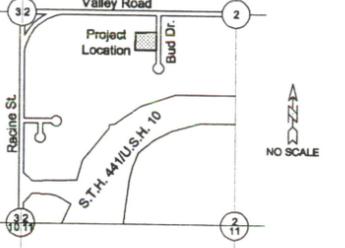
INSTALLATION NOTES:
Inlet protection Type A shall be utilized around field inlets until permanent stabilization methods have been established. Inlet protection Type A shall be utilized on pavement inlets prior to installation of curb and gutter or pavement.
Inlet protection Type B shall be utilized on street inlets without curb heads, once surrounding surface is in place.
Inlet protection Type C shall be utilized on street inlets with curb heads.
TYPE B & C
Trim excess fabric in the flow line to within 3" of the grate.
The contractor shall demonstrate a method of maintenance, using a sown flap, hand holds, or other method to prevent accumulated sediment from entering the inlet.



SILT FENCE INSTALLATION



LOCATION MAP
SW 1/4 SEC 2, T 20 N, R 17 E,
CITY OF MENASHA
WINNEBAGO COUNTY, WI



SITE PLAN NOTES:

Site Information
Proposed 1 story Storage Buildings
1840 Bud Drive
Parcel 740078103
Lot 2 of J.O. Johnson Industrial Park
Zoning: I-1 Heavy Industrial
Property is currently vacant
adjoining parcels are zoned I-1, currently warehousing and commercial buildings.

Total Development Impervious Area = 72.0% (40,724 SF)
Proposed Disturbed Area = 47,000± SF

Pr. Building coverage 17,530 SF
Proposed Pavement 21,031 SF
Existing Pavement 2,163 SF
Lawn and Landscaping 15,854 SF
Total Site Area 56,576 SF (1.30 Acres)

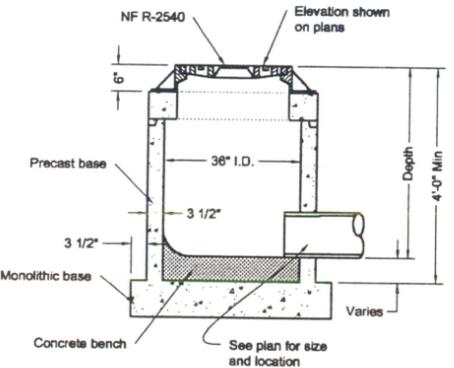
No fire protection system is proposed.

Setbacks:
Front: Building = 30'
Parking = 10'
Sides: 10'
Rear: 10'

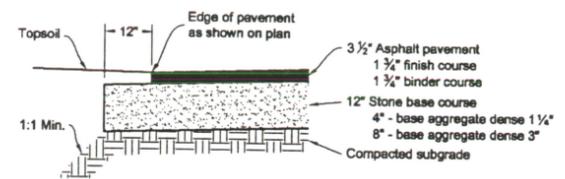
Owner
Minimax Properties LLC
1820 Bud Drive
Menasha, WI 54952

NOTES:

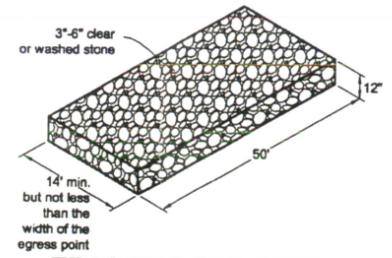
- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Silt fence shall be installed at the toe of all newly constructed fill slopes and shall be maintained until slope vegetation is established. Silt fence shall be installed prior to site grading.
- Inlet protection shall be installed around inlets, in accordance with Wisconsin DOT Standard Detail Drawing 8E10-2.
- Gravel access shall be provided to construction.
- Tracking of mud on existing streets shall be cleaned up daily.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site.
- Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the the property owner at the end of the construction or upon demand during construction.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.



ROUND INLET



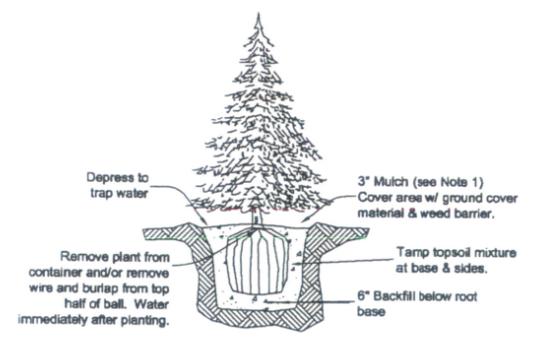
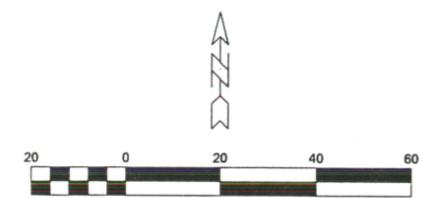
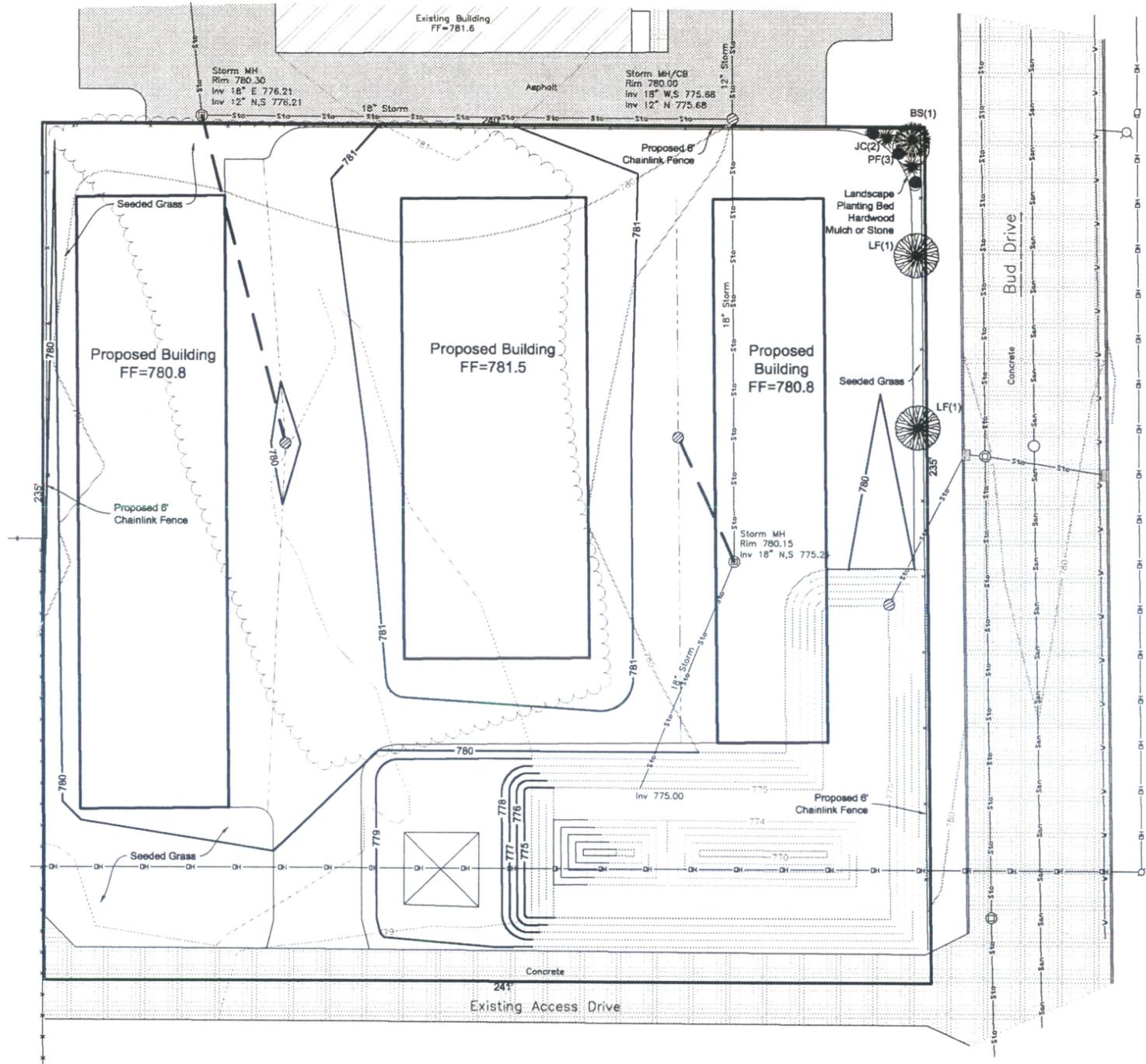
PAVEMENT SECTION



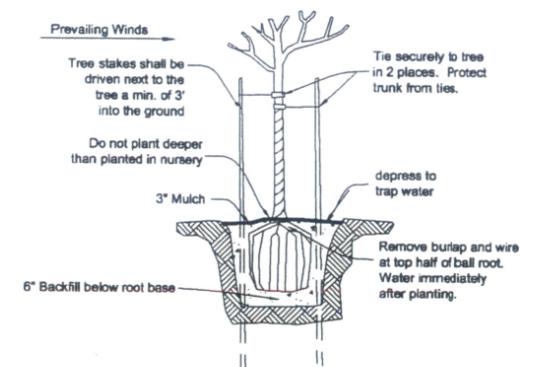
TRACKING PAD DETAIL

LEGEND

- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Wetmain
- Proposed Contour
- Proposed Swale
- Proposed Culvert
- Proposed Silt Fence
- Prop. Drainage Direction
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Proposed Rip Rap
- Proposed Grade
- Existing Grade
- Proposed Ditch Check
- Proposed Inlet Protection
- Type of Inlet Protection



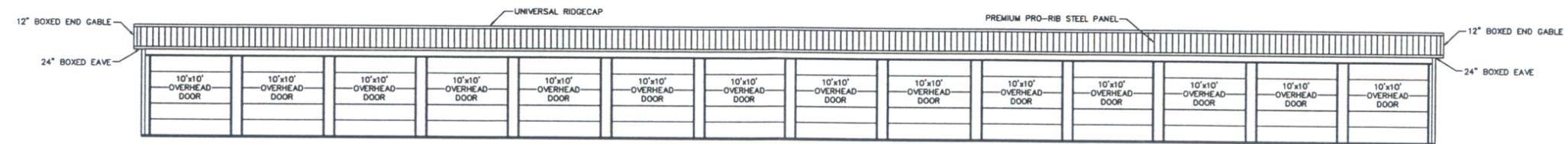
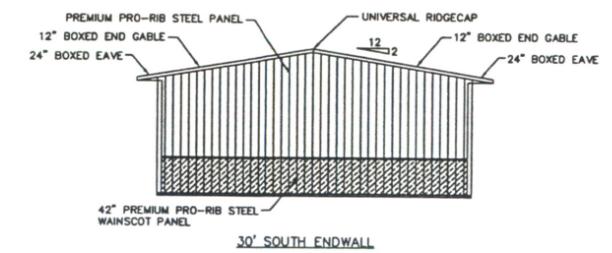
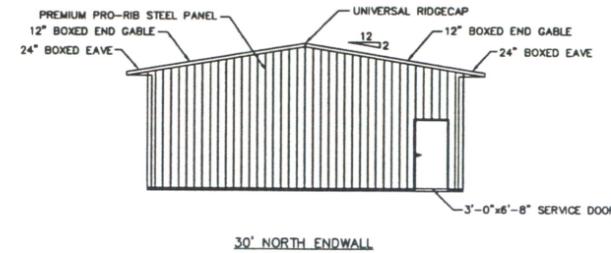
Shrub Planting Details
For: PF and JC Type Shrub



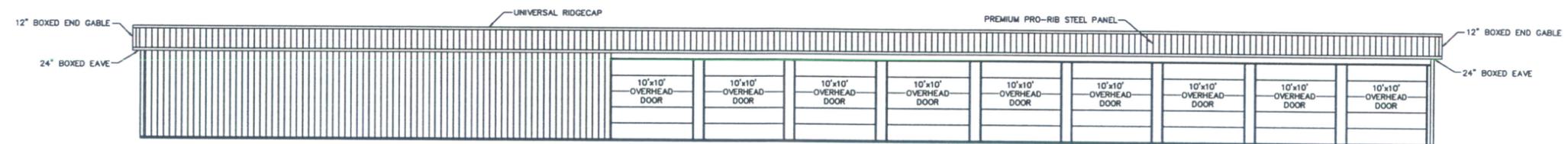
Tree Planting Details
For: BS, and LF Type Trees

Plant Schedule

| I.D. | Common Name | Latin Name | Planting Size | Mature Size | Qty. |
|------|----------------------------|--|---------------|-------------|------|
| LF | Frontyard American Linden | Tilia Americana 'Frontyard' | 2.5" Cal | 40'x70' | 2 |
| BS | Black Hills Spruce | Picea Glauca 'Densata' | 4' Hgt | 14'x40' | 1 |
| JC | Sea Green Juniper | Juniperus Chinensis 'Sea Green' | 24" Spd | 4'x6' | 2 |
| PF | Dakota Goldrush Potentilla | Potentilla Fruticosa 'Dakota Goldrush' | 24" Hgt | 3'x4' | 3 |



149' 6" EAST SIDEWALL

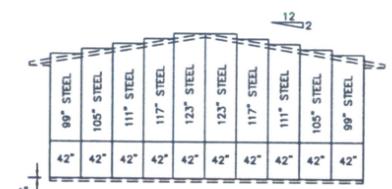


149' 6" WEST SIDEWALL

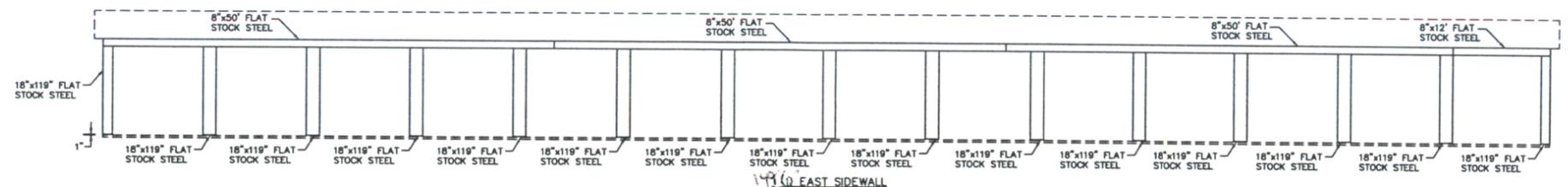
ELEVATIONS
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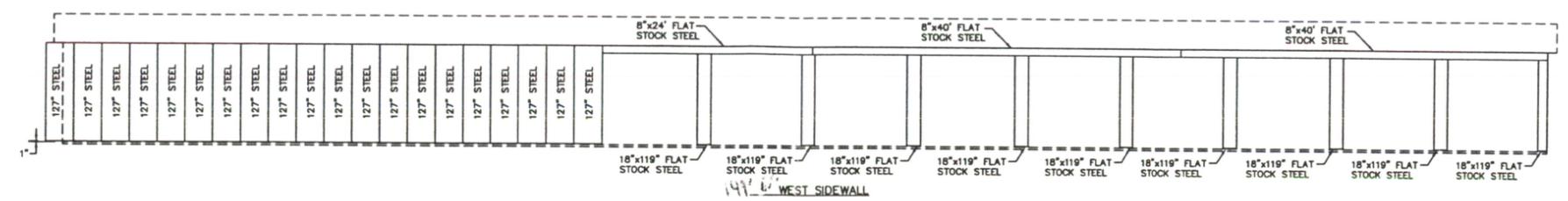
30' NORTH ENDWALL



30' SOUTH ENDWALL



149' 6" EAST SIDEWALL



149' 6" WEST SIDEWALL

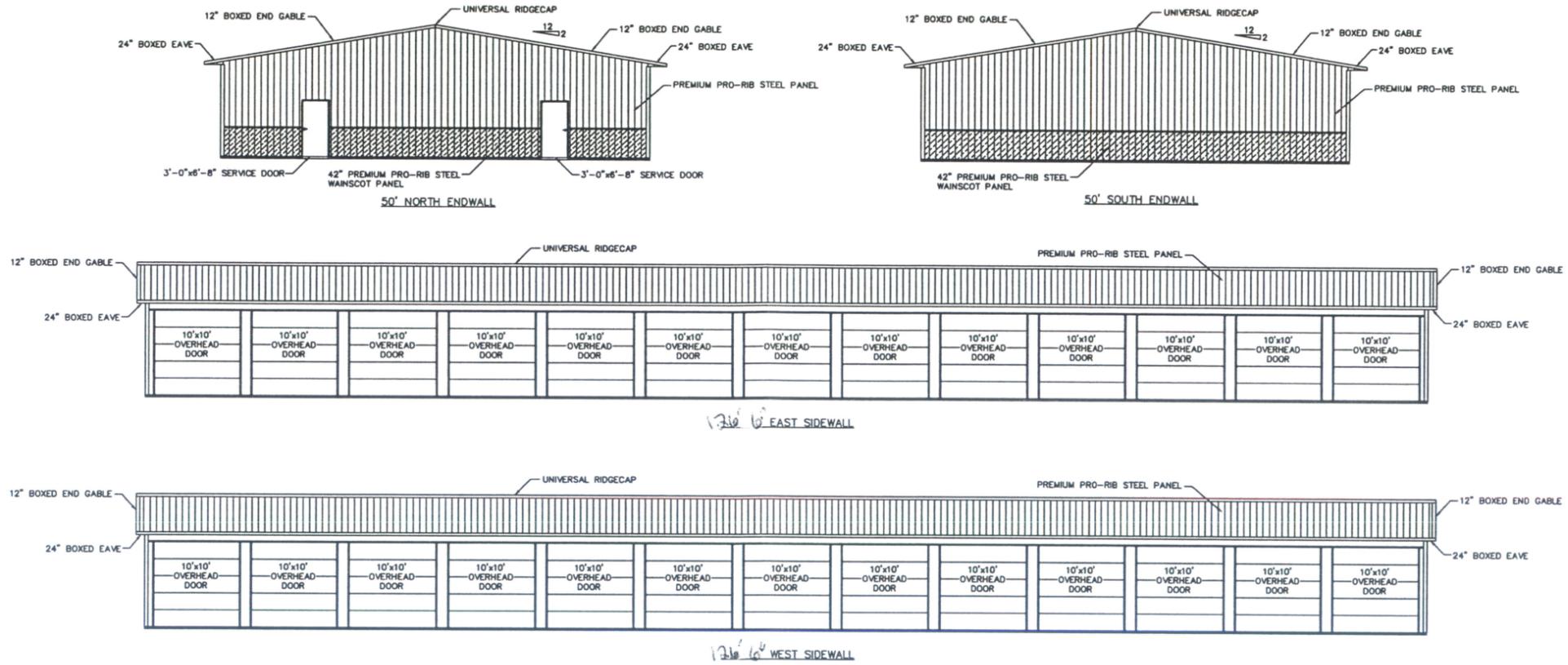
STEEL LAYOUTS
SCALE: 1/8"=1'-0"



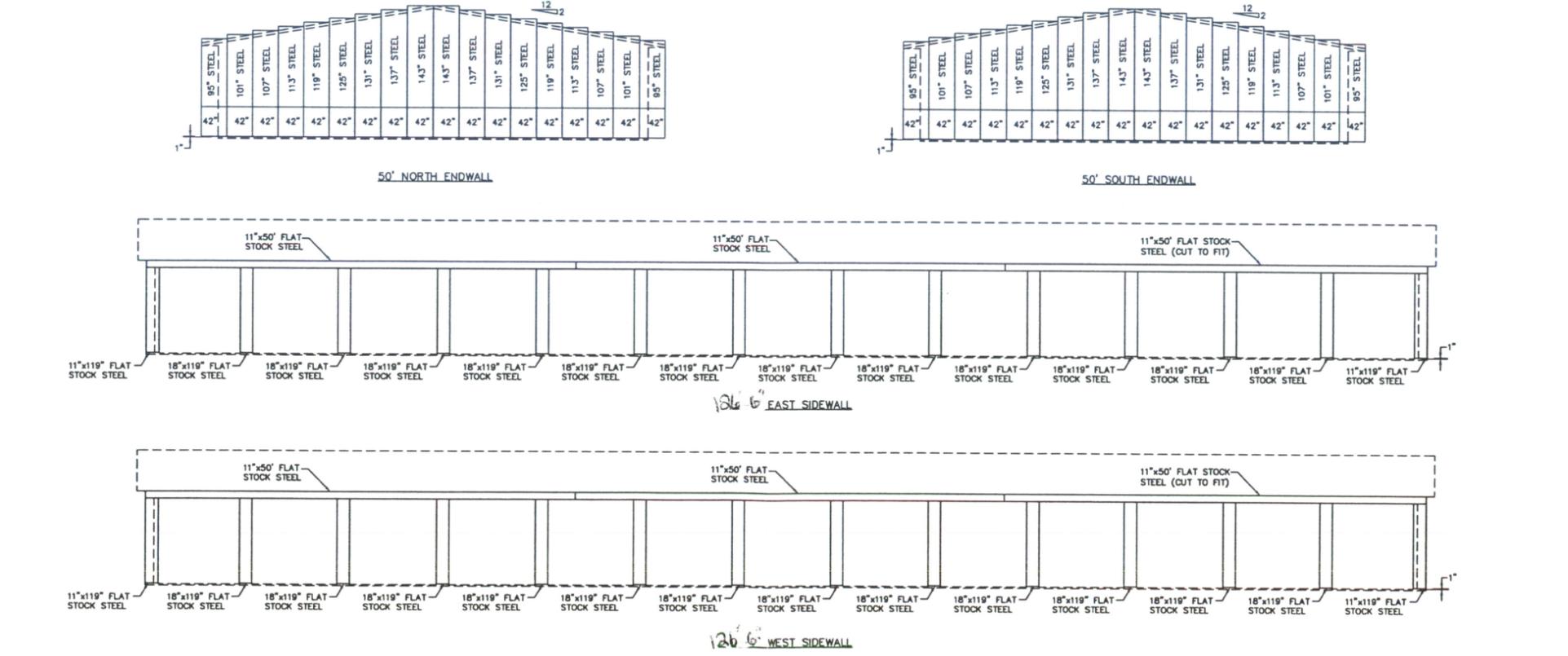
| | |
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| PROJECT TITLE: | MINIMAX STORAGE MENASHA, WI |
| SHEET TITLE: | ELEVATIONS & STEEL LAYOUTS |

| REVISIONS | | | |
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| NO. | DATE | DESCRIPTION | BY |
| 1 | | | |
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| | | | |
|------------------------|---------------|------------|------------|
| PROFESSIONAL ENGINEER: | JEFF MURRAY | FILE NAME: | M08711W102 |
| PLAN DESIGNER: | JEFF MURRAY | DATE: | 04-12-11 |
| DRAWN BY: | LANCE NIELSEN | SCALE: | AS NOTED |



ELEVATIONS
SCALE: 1/8"=1'-0"



STEEL LAYOUTS
SCALE: 1/8"=1'-0"



PROJECT TITLE:
MINIMAX STORAGE
MENASHA, WI

SHEET TITLE:
ELEVATIONS & STEEL LAYOUTS

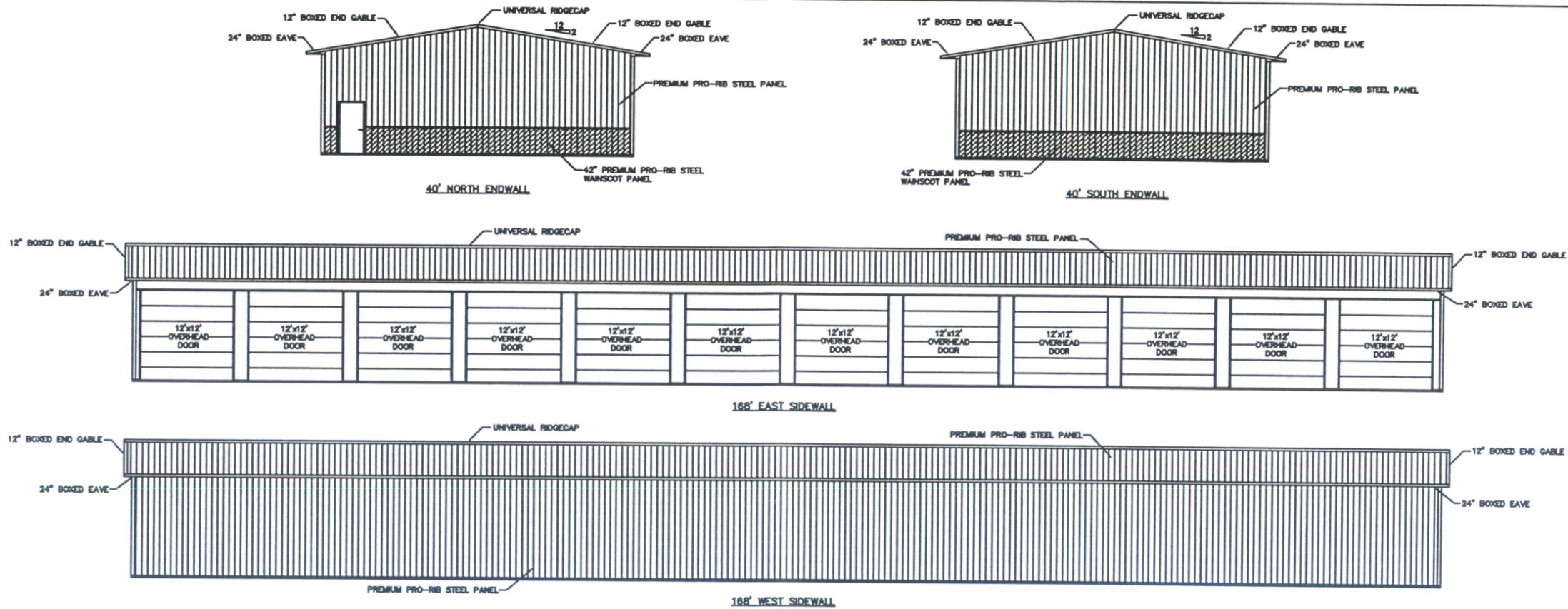
| REVISIONS | | | |
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PROFESSIONAL ENGINEER: **JEFF MURRAY**
FILE NAME: **M08811W102**

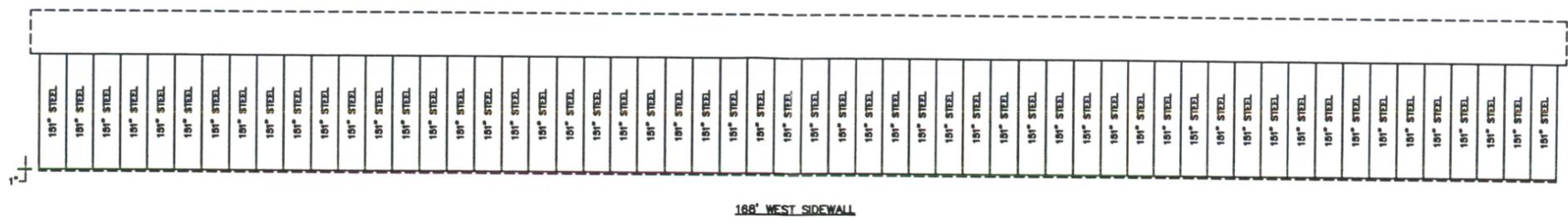
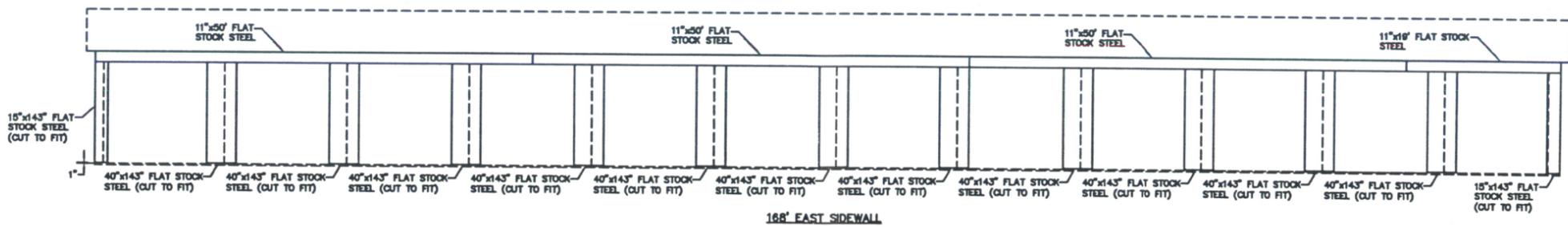
PLAN DESIGNER: **JEFF MURRAY**
DATE: **04-14-11**

DRAWN BY: **LANCE NIELSEN**
SCALE: **AS NOTED**

SHEET NO.
2
OF **7**



ELEVATIONS
SCALE: 1/8"=1'-0"



STEEL LAYOUTS
SCALE: 1/8"=1'-0"



PROJECT TITLE:
MINIMAX STORAGE
MENASHA, WI

SHEET TITLE:
ELEVATIONS & STEEL LAYOUTS

| REVISIONS | | | |
|-----------|------|-------------|----|
| NO. | DATE | DESCRIPTION | BY |
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PROFESSIONAL ENGINEER:
JEFF MURRAY

FILE NAME:
M08911WI02

DATE:
04-15-11

SCALE:
AS NOTED

SHEET NO.
2
OF **7**