

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA  
PLAN COMMISSION  
Council Chambers  
140 Main Street, Menasha**

**February 21, 2012  
3:30 PM**

**AGENDA**

- A. CALL TO ORDER
- B. ROLL CALL/EXCUSED ABSENCES
- C. MINUTES TO APPROVE
  - 1. [Minutes of the February 7, 2012 Plan Commission Meeting](#)
- D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA  
Five (5) minute time limit for each person
- E. DISCUSSION
  - 1. [R-1 Uses in C-2 \(Downtown Commercial\) Zoning District](#)
  - 2. Electronic Billboards
- F. ACTION ITEMS
  - 1. [Land Sale - Tonic](#)
  - 2. [Site Plan Review – Appanasha Pet Clinic – 1205 Wittmann Drive](#)
  - 3. [Site Plan Review – Province Terrace Offices – 1427 Province Terrace](#)
- G. ADJOURNMENT

**CITY OF MENASHA  
Plan Commission  
Council Chambers, City Hall – 140 Main Street  
February 7, 2012  
DRAFT MINUTES**

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**A. CALL TO ORDER**

The meeting was called to order at 3:31 PM by Mayor Merkes.

**B. ROLL CALL/EXCUSED ABSENCES**

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, Commissioners Cruickshank and Sturm, DPW Radtke and Ald. Benner.

PLAN COMMISSION MEMBERS EXCUSED: Commissioner Schmidt

PLAN COMMISSION MEMBERS ABSENT: None

OTHERS PRESENT: CDD Keil and PP Homan

**C. MINUTES TO APPROVE**

1. **Minutes of the January 17, 2012 Plan Commission Meeting**

Motion by Ald. Benner, seconded by DPW Radtke to approve the January 17, 2012 Plan Commission meeting minutes as presented.

The motion carried.

**D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA**

1. No one spoke.

**E. DISCUSSION**

1. None

**F. ACTION ITEMS**

1. **Sale of City-Owned Parcel at Manitowoc/Melissa Street – Tonic**

Commissioners discussed:

- Whether there were potential city uses for the parcel
- Its relationship to other neighboring parcels
- How it would be used by the prospective purchaser
- The use of the parcel for signage and possible landscaping
- The value of the parcel relative to others in the vicinity and its value as a stand-alone non-conforming parcel compared to being part of a larger conforming lot

The consensus was to hold this item pending more information from the prospective purchaser regarding his intentions for the parcel.

**G. ADJOURNMENT**

Motion by Ald. Benner, seconded by Comm. Cruickshank to adjourn at 3:55 p.m.

The motion carried.



C-2 Central Business District  
Menasha, WI

- a. Permitted uses requiring conditional site plan approval shall comply with the requirements of Section 13-1-12.
- b. The following shall apply to additions or expansions not required to obtain site plan approval;
  - i. The primary façade material for all additions or expansions shall be brick or natural stone. Where there is an addition or an expansion to an existing building, the façade materials on the portion of the building being altered or added must visually match or complement the appearance of the existing building. The Plan Commission may consider the use of alternative façade materials that are durable and of high quality for such additions or expansions.
  - ii. Secondary façade materials may be used for architectural details or enhancements to additions or expansions. Such materials shall be high quality, durable, and cover not more than twenty-five percent (25%) of the building façade. The Plan Commission shall approve all secondary materials.
- (10) Screening. Permitted uses requiring conditional site plan approval shall comply with the requirements of Section 13-1-12.
- (11) Landscaping. Permitted uses requiring conditional site plan approval shall comply with the requirements of Section 13-1-12. Requirements set forth in Sec. 13-1-17 for commercial transitional landscaping areas shall apply to this district. If multi-family residential development is the principal use, then transitional area requirements apply.
- (12) Lighting. Permitted uses requiring conditional site plan approval shall comply with the requirements of Section 13-1-12.
- (13) Parking. The parking requirements listed in Section 13-1-51(b) shall apply to this district.
- (14) Loading. No loading shall be allowed in between any building and any street right-of-way. The loading requirements stated in Section 13-1-50 shall apply to this district.
- (g) **NUISANCE CONTROL.** No operation, process, manufacturing, or building shall produce or create excessive noise, light, odor, smoke, vibration, heat, glare, dust, gas, electronic interference, toxic matter, industrial waste, or other external nuisance.
- (h) **SIGNS.** Refer to Article F.

**SEC. 13-1-30 C-2 CENTRAL BUSINESS DISTRICT.**

- (a) **INTENT.** The purpose of this district is to provide a centrally located, pedestrian-oriented business district with a wide range of retail and commercial service and product establishments. It is also intended to accommodate the development of mixed land uses that will allow the association of commercial and residential uses in the same zoning district.
- (b) **PERMITTED USES.**
  - (1) Administrative, management, and support services.
  - (2) Arts, entertainment, recreation and sport facilities and services, indoor only.
  - (3) Construction services and contractors offices.
  - (4) Day care facilities.
  - (5) Educational services and schools serving thirty (30) students or less at any one

time.

- (6) Financial and insurance services.
- (7) Food services and drinking establishments.
- (8) Health, medical, and social services.
- (9) Hotels and motels.
- (10) Museums, historical sites, and similar institutions, indoor only.
- (11) Parks and playgrounds.
- (12) Personal services.
- (13) Professional, scientific, and technical services.
- (14) Public administration buildings.
- (15) Real estate services.
- (16) Religious, grantmaking, civic, professional, and similar organizations.
- (17) Rental and leasing services, excluding mini-warehousing.
- (18) Residential uses coincident with or secondary to the commercial use and occupancy of the premises; single-family and two-family dwelling units as a principal use are prohibited. Accessory structures coincident with or secondary to non-conforming residential structures existing at the date of adoption of this ordinance may be constructed in accordance with the setback regulations of the residential district most closely associated with the existing use of the property.
- (19) Retail trade:
  - a. Automotive, truck, recreational vehicle, and heavy equipment parts and accessory stores, excluding facilities with repair or maintenance facilities.
  - b. Furniture and home furnishings stores.
  - c. Electronics and appliance stores.
  - d. Building material, garden equipment and supplies dealers, indoor only.
  - e. Food and beverage stores.
  - f. Health and personal care stores.
  - g. Clothing and clothing accessories stores.
  - h. Sporting goods, hobby, book, music, and similar stores.
  - i. General merchandise and retail stores.
- (20) Repair services, excluding automotive, truck, recreational vehicle, and heavy equipment repair and maintenance services.
- (21) Utility substations.
- (22) Other permitted uses.
  - a. Adult establishments which are more than five hundred (500) feet from schools, churches, community living arrangements, day care centers, nursery schools, family day care homes, parks, playgrounds, other community facilities, and other adult establishments.
  - b. Uses not explicitly enumerated in the section as permitted uses, but determined by the Community Development Director to be closely similar thereto provided that these uses are not specified elsewhere as requiring a special use permit.

(c) **SPECIAL USES.**

- (1) Airport/heliport.
- (2) Arts, entertainment, recreation, and sport facilities and services, outdoor only.
- (3) Bed and breakfast facilities.
- (4) Gasoline stations.
- (5) Multi-family uses permitted in the R-3 Multi-Family District.
- (6) Museums, historical sites, and similar institutions, outdoor only.

- (7) Radio and television broadcasting facilities.
  - (8) Railroad right-of-way and uses essential to railroad operation.
  - (9) Schools serving more than thirty (30) students at any one time.
  - (10) Other uses requiring a special use permit:
    - a. Any use which utilizes outdoor storage or outdoor display of merchandise or equipment. This requirement does not apply to outdoor display items, which are removed each night.
    - b. Office buildings exceeding (3) three stories in height.
- (d) **USES REQUIRING CONDITIONAL SITE PLAN APPROVAL**
- (1) Any proposed new construction.
  - (2) Any proposed addition or expansion to a non-conforming lot, structure or use.
  - (3) Any proposed addition or expansion which exceeds five percent (5%) of the building square footage or five hundred (500) square feet, whichever is less.
  - (4) A change in occupancy; this requirement does not include a change in tenant or proprietorship of a substantially similar use to that which existed previously.
- (e) **SITE, ARCHITECTURAL, LANDSCAPING AND LIGHTING REVIEW**
- (1) Review shall be required for projects and uses listed in 13-1-12(b)
- (f) **ACCESSORY BUILDINGS AND USES.**
- (1) Accessory building and uses customary with and incidental to the principal use are permitted unless otherwise excluded by this chapter.
- (g) **GENERAL STANDARDS.**
- (1) Maximum front yard setback. Structures or additions constructed after the effective date of this ordinance shall be built no more than (10) feet from the front yard property line or at the prevailing setback. The Plan Commission may modify this requirement in instances where the structure would encroach into a vision control area, where a lot has multiple street frontages, when outdoor seating or plaza areas are proposed, or other similar instances as deemed appropriate by the Plan Commission.
  - (2) Minimum front yard setback. Five (5) feet for all parking and paved areas, except for pedestrian paths or plazas and points of ingress and egress approved by the Plan Commission.
  - (3) Minimum side yard. None, unless abutting a residential district, then transitional area requirements apply.
  - (4) Minimum rear yard. None, unless abutting a residential district, then transitional area requirements apply.
  - (5) Minimum waterfront setback. Ten (10) feet for parking and paved areas, except for pedestrian paths or plazas approved by the Plan Commission.
  - (6) Minimum height. Twenty-four (24) feet or two stories.
  - (7) Maximum height. One hundred (100) feet or six (6) stories.
  - (8) Parking.
    - a. No off-street parking is required for the C-2 District; however, provisions for such parking are encouraged.
    - b. If multi-family development is the principal use, parking shall be provided as required in Article E.
    - c. If off-street parking is provided for, the parking design standards listed in Section 13-1-51 shall apply.
  - (9) Screening. Permitted uses requiring conditional site plan approval shall comply with the requirements of Section 13-1-12.
  - (10) Landscaping. Permitted uses requiring conditional site plan approval shall comply

with the requirements of Section 13-1-12. The Plan Commission may reduce the landscaping requirement when the requirement cannot be reasonably met due to limitations unique to the site.

- (11) Lighting. Permitted uses requiring conditional site plan approval shall comply with the requirements of Section 13-1-12.
- (12) Design Standards.
  - a. Permitted uses requiring conditional site plan approval shall comply with the requirements of Section 13-1-12.
  - b. The following shall apply to additions or expansions not required to obtain site plan approval:
    - 1. The primary facade materials for all additions or expansions shall be brick or natural stone. Where there is an addition or expansion to an existing building, the facade materials on the portion of the building being altered or added must visually match or complement the appearance of the existing building. The Plan Commission may consider the use of alternative facade materials that are durable and of high quality for such additions or expansions. Vinyl siding, aluminum siding, enameled steel, and non-decorative concrete masonry units are prohibited as primary facade materials for any building elevation.
    - 2. Secondary facade materials may be used for architectural details or enhancements to additions or expansions. Such materials shall be high quality, durable, and not cover more than twenty-five (25) percent of the building facade. Vinyl siding, aluminum siding, enameled steel, and non-decorative concrete masonry units are prohibited as secondary facade materials for any building elevation. All secondary materials shall be approved by the Plan Commission.
- (h) **NUISANCE CONTROL.** No operation, process, manufacturing, or building shall produce or create excessive noise, light, odor, smoke, vibration, heat, glare, dust, gas, electronic interference, toxic matter, industrial waste, or other external nuisance.
- (i) **SIGNS.** Refer to Article F.

#### **SEC. 13-1-31 I-1. HEAVY INDUSTRIAL DISTRICT.**

- (a) **PERMITTED USES.**
  - (1) Manufacture, assembly, compounding, processing and packaging of goods, materials and products (excluding automotive wrecking and junk yards).
  - (2) Printing, publishing and engraving.
  - (3) Research, laboratory and testing facilities.
  - (4) Transportation, trucking facilities or terminals and enclosed repair facilities.
  - (5) Wholesale, warehousing, storage and distribution.
- (b) **PERMITTED USES REQUIRING CONDITIONAL SITE PLAN APPROVAL.**
  - (1) Radio, microwave or television tower.
  - (2) Railroad rights-of-way and uses essential to railroad operation.
  - (3) Retail trade, finance, insurance, real estate, office and other services incidental and complementary to local industry.
- (c) **SPECIAL USES.**
  - (1) Public utility structures.



ARTHUR ST.

MELISSA ST.

MANITOWOC RD.

PLANK RD. -- S.T.H. 114





**Community Development Department  
Plan Commission Staff Report  
February 16, 2012**

**Agenda Item F.2. Appanasha Pet Clinic, 1205 Wittmann Drive, Parcel 6-01647-00**

Applicant: Appanasha Pet Clinic

Requested action: Site Plan Approval

Proposed: Construction of Veterinary Clinic

Location: 1205 Wittmann Drive

Existing Zoning: C-4 Business Park District

Surrounding Zoning: C-4 Business Park District (North, West & East), R-4 Multi-Family Residential (South)

Existing Land Use: Vacant

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**1. General**

Appanasha Pet Clinic is proposing to construct a new clinic in the Midway Business Business Park. Neighboring land uses are commercial in nature to the north, east and west; and multi-family residential to the south.

Their operations will be located from their current location on Appleton Rd/Hwy 47 (town of Menasha) to this new location. Appanasha has previously applied for and received a kennel license for this development.

**2. Site Layout**

This site is zoned C-4 Business Park District. The proposed structure conforms with the minimum setback requirements in the C-4 District.

**3. Site Access and Parking**

Proposed access for the site for both pedestrian and vehicular traffic will come from Wittmann Drive. The building includes 7 exam and 4 treatment rooms. One parking stall is required for each together with another stall for each of the

employees, for a total of stalls (being verified with developer). The site plan contains 54 parking stalls, 3 of which are handicap accessible.

**4. Site Grading, Drainage, Stormwater Management, Erosion Control, and Utilities**

The site is gently sloped, and drains to the southeast. A drainage easement occupies the southern 40 feet of the site. Plans have been submitted for erosion control and stormwater management, and the Public Works/Engineering Department is currently reviewing these plans. Sanitary sewer and water are available from the Town of Menasha Utility District; stormwater is discharged into the City of Menasha system.

**5. Landscaping and Lighting**

The minimum landscaping requirement for the C-4 District is 20 percent of the site area. Approximately one-third of the site is comprised of building and parking. Additional landscaping is needed in the parking lot interior and along the building perimeter on the north side of the building. There is no specification given for the vegetative cover of portions of the site that are not part of the building footprint, parking lot or landscape beds. The existing vegetation should remain as-is within the drainage easement unless advised otherwise by the Public Works Department (portions of the transitional area planting may extend into the drainage easement, but should not encroach upon the ditch profile).

Transitional landscaping is required, as the proposed commercial use abuts a R-4 multifamily use to the south. Use of existing vegetation is proposed to meet part of the transitional area requirements. The existing vegetation was reviewed by Community Development staff and the City Forester. Much of what is present is comprised of invasive species or otherwise unsuitable plant materials. The specific findings have been forwarded to the site designer and a revised transitional area plan is being prepared.

The photometric plan appears to comply with illumination standards.

**6. Architecture and Construction**

The primary façade materials are comprised of concrete stone veneer and glazed block concrete masonry units with cast stone details. Metals panels are used as secondary façade materials. The overall building architecture provides reasonable articulation in the façade and rooflines. The building elevations meet the 75% requirement for brick, natural stone or decorative masonry units.

The dumpster enclosure is proposed for the northwest corner of the property, uses materials that match the main building, and will achieve 75% opacity.

Wall signage is proposed for the north and west building elevations. No other signage is proposed for the site at this time.

**7. Consistency with Zoning and the Comprehensive Plan**

The proposed use is consistent with the C-4 Zoning District Standards. The comprehensive plan calls for industrial use in the Midway Business Park. While seemingly inconsistent, veterinary services are within the Professional, Scientific and Technical Services category within the North American Industrial Classification System (NAICS). This use is compatible with other uses within the business park.

**8. Recommendation**

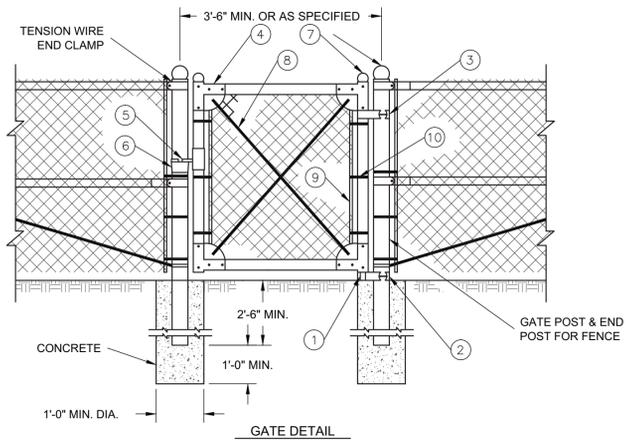
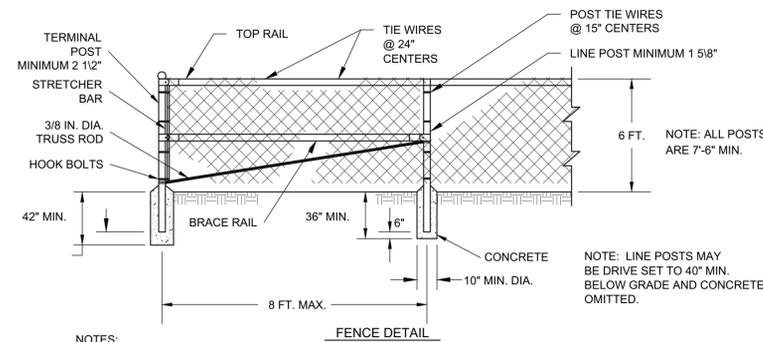
Community Development staff finds that the proposed Appanasha Pet Clinic to be compatible with surrounding land uses, as the C-4 zoning exists to the north, east and west of the subject site and the multifamily use to the south is buffered by a 40 foot wide drainage easement and a landscaped transitional area. With the exceptions noted, the proposed Site Plan appears to comply with minimum standards set forth in the City of Menasha's Site Plan requirements. The Community Development Department **recommends approval of the Site Plan for Appanasha Pet Clinic** at parcel 6-01647-00, with the following conditions:

- The transitional area be revised to comply with ordinance requirements
- The parking lot interior landscaping be revised to meet ordinance requirements and to be submitted to the Community Development Department for review and approval.
- The landscaping plan be revised to include additional building perimeter plantings on the north elevations, and specifications be given for undesignated portions of the site.
- Approval of Stormwater and Erosion Control Plans by Public Works/Engineering staff.

Prepared by: Greg Keil, CDD



# Proposed Site Plan

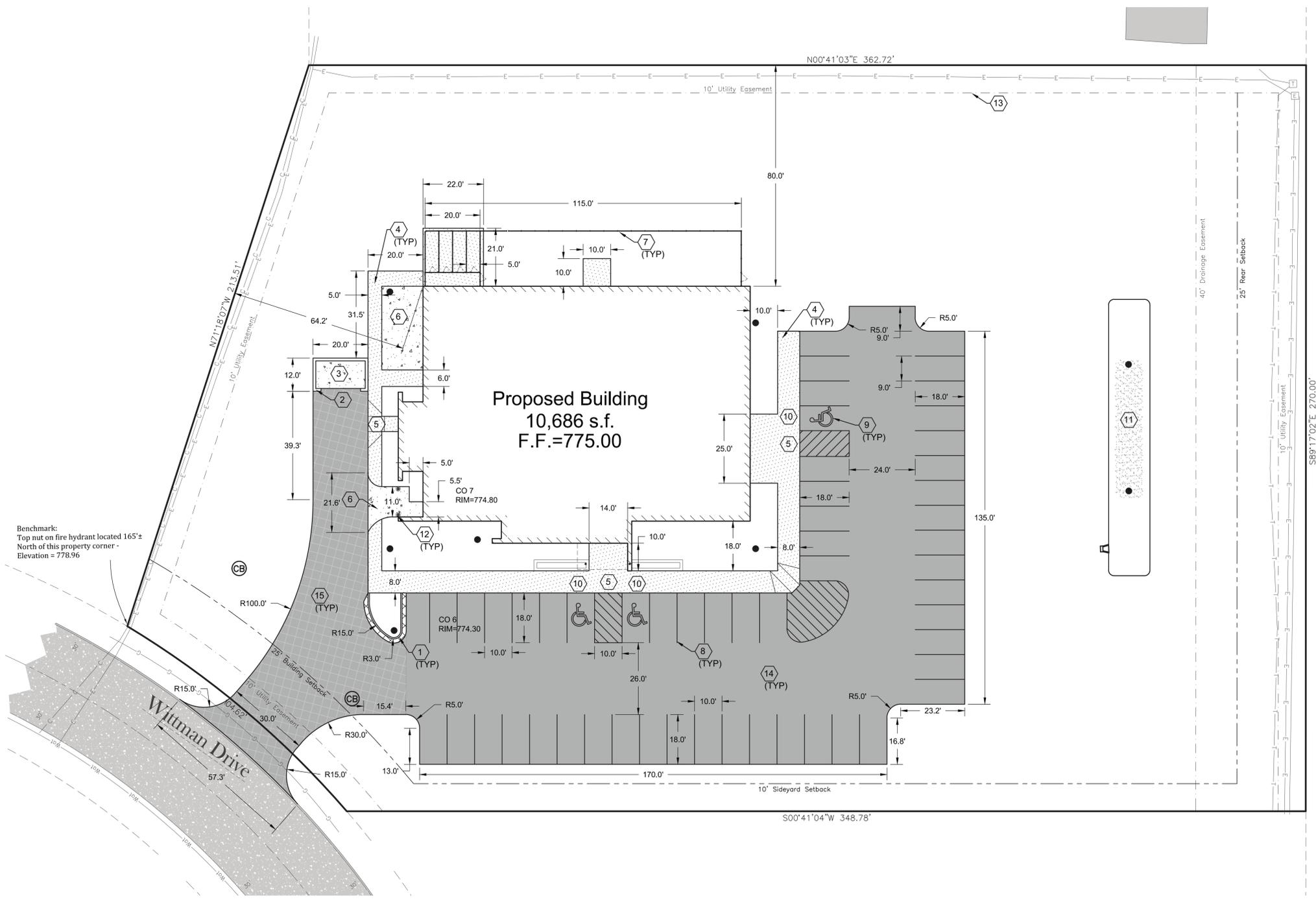


**LEGEND**

PART NO.	DESCRIPTION	QUANTITY
1	STRAIGHT PLUG	1
2	BOTTOM HINGE	1
3	TOP HINGE	1
4	CORNER ELBOW	4
5	LATCH FORK	1
6	FORK CATCH	1
7	ORNAMENTAL TOPS	4
8	TRUSS RODS	2
9	STRETCHER BAR	2
10	HOOK BOLTS	6

- NOTES:**
- MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS.
  - ALL POSTS SHALL BE INSTALLED VERTICALLY. WHERE POSTS ARE INSTALLED ON AN INCLINED SURFACE, THE ANGLE OF THE POST SHALL BE ADJUSTED SO THAT THE POST WILL BE VERTICAL.
  - THE FENCING SHALL BE MINIMUM 6 GAUGE CYCLONE FENCE.
  - PROVIDE PRIVACY SLATS IN CYCLONE FENCING. COLOR TO BE SELECTED BY OWNER.

**A** CHAIN LINK FENCE DETAIL



## SITE STATISTICS

ZONING: C-4 BUSINESS PARK DISTRICT  
 LOT SIZE: 2.44 ACRES (106,080 SF)  
 LOT COVERAGE: 0.82 ACRES (35,700 SF) OR 33.65%  
 INTERIOR LANDSCAPE AREA: 3,600 SF (14.7%)  
 PARKING PROVIDED: 54 TOTAL (3 HANDICAP)

## SHEET KEY NOTES:

- REVERSE PAN CONCRETE CURB & GUTTER; SEE DETAIL I SHEET C6.0.
- DUMPSTER ENCLOSURE; REFER TO ARCHITECTURAL ELEVATIONS FOR DETAILS.
- DUMPSTER PAD; SEE DETAIL C SHEET C6.0.
- CONCRETE SIDEWALK; SEE DETAIL E SHEET C6.0.
- ADA COMPLIANT DETECTABLE RAMP; SEE DETAIL H SHEET C6.0.
- CONCRETE PAVEMENT; SEE DETAIL D SHEET C6.0.
- 6' HIGH CHAIN LINK FENCE WITH PRIVACY SLATS, COLOR TO BE SELECTED BY OWNER; SEE DETAIL A THIS SHEET.
- 4" WIDE WHITE PAINT STRIPE.
- PAINTED THERMOPLASTIC HANDICAP SYMBOL.
- ADA COMPLIANT PARKING SIGN ON MOVEABLE STAND. STAND SHALL BE CONCRETE, RECYCLED RUBBER, OR STEEL PLATE.
- BIO-RETENTION BMP; SEE DETAIL F SHEET C6.1 (500 SF OF SURFACE AREA REQUIRED).
- CONCRETE BOLLARD; SEE DETAIL F SHEET C6.0. BOLLARD TO BE PAINTED, COLOR TO BE SELECTED BY OWNER.
- 10' SIDE YARD SETBACK.
- STANDARD DUTY ASPHALT PAVEMENT; SEE DETAIL J SHEET C6.0.
- HEAVY DUTY ASPHALT PAVEMENT; SEE DETAIL G SHEET C6.0.

## GENERAL NOTES:

- FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0.
- FOR NOTES SHOWN THUS, "(2)", SEE SHEET KEY NOTES, THIS SHEET.
- CARE SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
- LAND DISTURBING ACTIVITIES SHALL NOT TAKE PLACE PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES.
- ALL DEMOLISHED/REMOVED MATERIALS IN THIS IN THIS CONTRACT BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER AT AN APPROVED LOCATION.
- ELEVATIONS REFERENCED TO NAVD88 DATUM.

**blue design group, llc**  
 Hortonville, WI 54944  
 202 West Main, PO Box 357  
 Phone: (920) 841-BLUE  
 Fax: (920) 779-0521

**Mach IV**  
 Engineering & Surveying LLC  
 211 N. Broadway, Suite 114, Green Bay, WI 54903  
 PH: 920-509-5768 Fax: 920-509-5976



**Appanasha Pet Clinic**  
 Menasha, Wisconsin

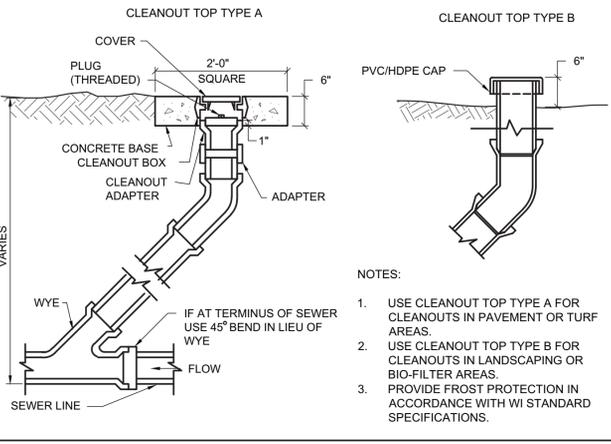
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**PROJECT #**  
011-009

**DATE**  
01-31-12

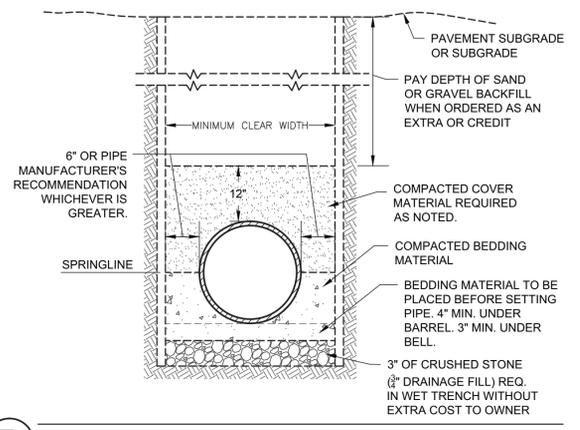
REVISION	DATE

**DRAWING #**  
**C2.0**



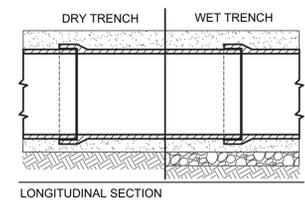
- NOTES:
1. USE CLEANOUT TOP TYPE A FOR CLEANOUTS IN PAVEMENT OR TURF AREAS.
  2. USE CLEANOUT TOP TYPE B FOR CLEANOUTS IN LANDSCAPING OR BIO-FILTER AREAS.
  3. PROVIDE FROST PROTECTION IN ACCORDANCE WITH WI STANDARD SPECIFICATIONS.

**A** SEWER CLEANOUT

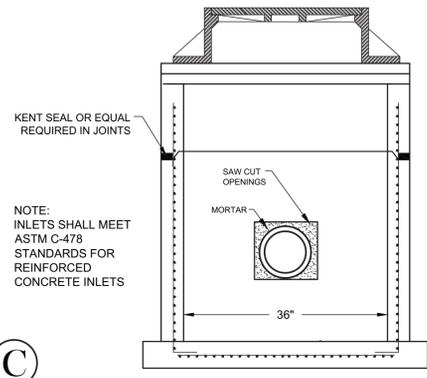


- NOTES:
1. ALL TRENCHING WORK TO BE DONE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AND THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.
  2. COVER MATERIAL IS REQUIRED WHERE THE TRENCH IS UNDER THE ROADWAY, AND WHERE THE EDGE OF TRENCH IS WITHIN 3' OF THE BACK OF CURB OR EDGE OF PAVEMENT OF ROADWAYS. COVER MATERIAL SHALL MATCH BEDDING MATERIAL GRADATION FOR PVC OR HDPE PIPE. COVER MATERIAL FOR CONCRETE PIPE MAY MATCH EITHER THE BEDDING MATERIAL GRADATION, OR THE STRUCTURAL FILL GRADATION.
  3. WHERE COVER MATERIAL IS NOT REQUIRED, COMMON FILL MAY BE USED FROM THE SPRINGLINE OF THE PIPE TO FINISHED GRADE.
  4. MINIMUM CLEAR WIDTH SHALL EQUAL O.D. OF PIPE, PLUS 12" OR PER PIPE MANUFACTURER'S RECOMMENDATION, WHICHEVER IS GREATER.

**B** X-SECTION  
STANDARD PIPE BEDDING DETAIL



# Site Utility Plan



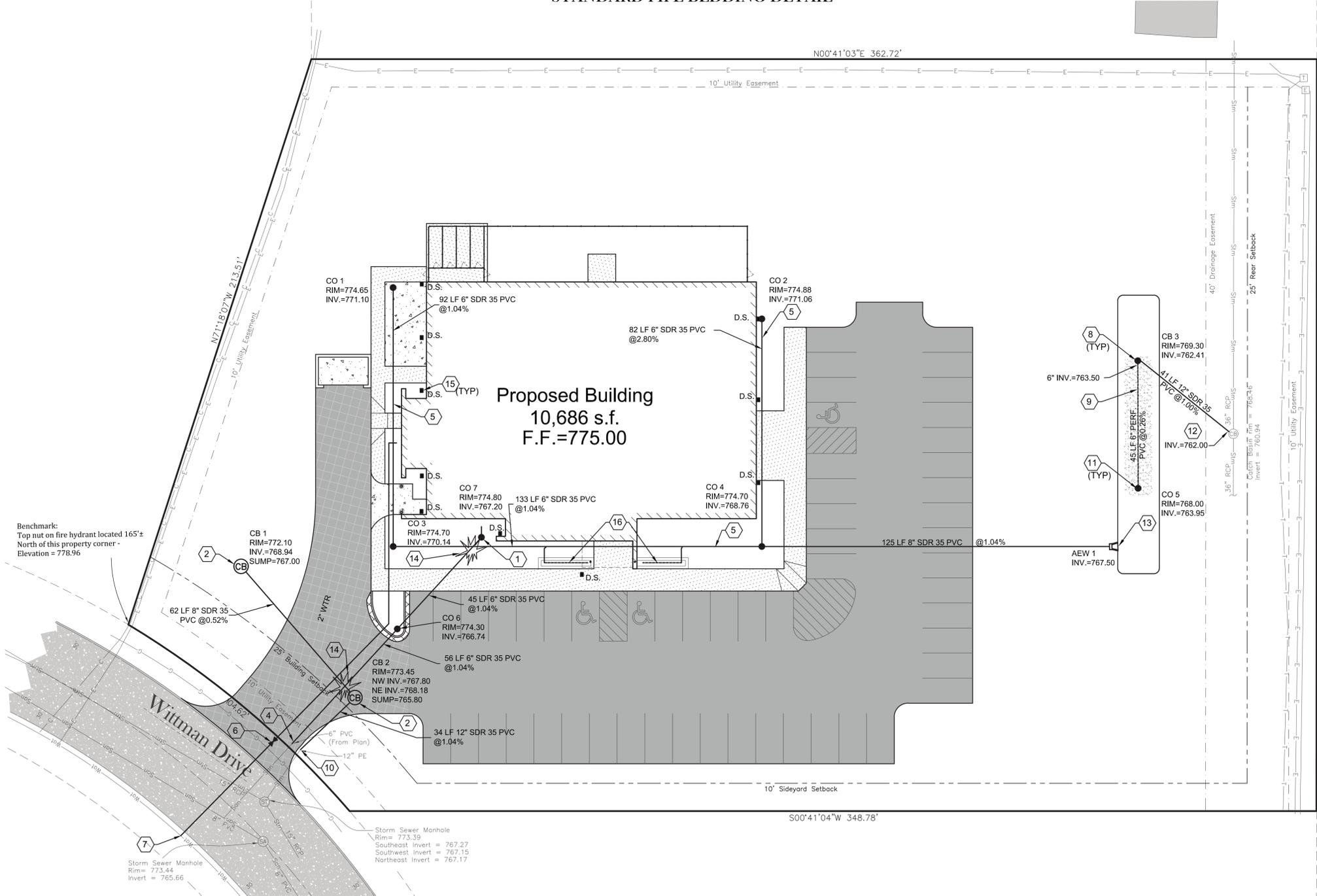
**C** PRECAST CONCRETE CATCH BASIN

## SHEET KEY NOTES:

1. SANITARY CLEANOUT; SEE DETAIL A SHEET C3.0.
2. 36" PRECAST CONCRETE CATCH BASIN WITH NEENAH FOUNDRY R-2560 TYPE 'E' BEEHIVE COVER (OR EQUAL); SEE DETAIL C SHEET C3.0.
3. 36" PRECAST CONCRETE CATCH BASIN WITH NEENAH FOUNDRY R-1510-A SOLID COVER (OR EQUAL); SEE DETAIL C SHEET C2.0. CONNECT TO EXISTING LATERAL IN ACCORDANCE WITH CITY OF MENASHA STANDARD SPECIFICATIONS. INVERT OF LATERAL TO BE FIELD VERIFIED PRIOR TO STARTING STORM SEWER CONSTRUCTION.
4. CONNECT TO EXISTING SANITARY LATERAL IN ACCORDANCE WITH CITY OF MENASHA STANDARD SPECIFICATIONS. INVERT OF LATERAL TO BE FIELD VERIFIED PRIOR TO STARTING SANITARY SEWER CONSTRUCTION. REFER TO DETAIL B SHEET C3.0 FOR TRENCH BACKFILL.
5. DOWNSPOUT COLLECTOR LINE. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.
6. CURB STOP; SEE DETAIL B SHEET C6.0.
7. CONNECT TO EXISTING WATERMAIN IN ACCORDANCE WITH CITY OF MENASHA STANDARD SPECIFICATIONS. LATERAL TO BE BORED UNDER WITTMAN DRIVE.
8. BMP OUTLET STRUCTURE; SEE DETAIL H SHEET C6.0.
9. BIO-RETENTION BMP; SEE DETAIL I SHEET C6.1 (500 SF OF SURFACE AREA REQUIRED).
10. CONNECT TO EXISTING STORM LATERAL IN ACCORDANCE WITH THE CITY OF MENASHA STANDARD SPECIFICATIONS. INVERT OF LATERAL TO BE FIELD VERIFIED PRIOR TO STARTING SANITARY SEWER CONSTRUCTION. REFER TO DETAIL B SHEET C3.0 FOR TRENCH BACKFILL.
11. STORM CLEANOUT; SEE DETAIL A SHEET C3.0.
12. CONNECT TO EXISTING CATCH BASIN IN ACCORDANCE WITH CITY OF MENASHA STANDARD SPECIFICATIONS.
13. APRON END WALL.
14. UTILITY CROSSING. CONTRACTOR SHALL DETERMINE INVERTS OF STORM AND SANITARY LATERALS, AND ENSURE THAT THERE IS NO PIPE CONFLICT AT THE CROSSING. IF A CONFLICT IS SUSPECTED, THE CONTRACTOR SHALL CONTACT THE ENGINEER.
15. APPROXIMATE DOWNSPOUT LOCATION; SEE ARCHITECTURAL PLANS FOR DETAILS. CONNECT DOWNSPOUT TO ADJACENT STORM SEWER IN ACCORDANCE WITH STATE STANDARDS AND DETAIL A SHEET C6.0.
16. PLANTER BOX DRAIN TILE. CONTRACTOR TO PROVIDE 4" PERFORATED PIPE WITH FILTER FABRIC SOCK AND SHALL CONNECT DRAIN TILE TO ADJACENT STORM SEWER IN ACCORDANCE WITH STATE STANDARDS.

## GENERAL NOTES:

1. FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
2. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0.
3. FOR NOTES SHOWN THUS, "(2)", SEE SHEET KEY NOTES, THIS SHEET.
4. CARE SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
5. LAND DISTURBING ACTIVITIES SHALL NOT TAKE PLACE PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES.
6. ALL DEMOLISHED/REMOVED MATERIALS IN THIS IN THIS CONTRACT BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER AT AN APPROVED LOCATION.
7. ELEVATIONS REFERENCED TO NAVD88 DATUM.
8. UTILITY PIPE INSTALLATION SHALL BE PER DETAIL B THIS SHEET.



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Menasha, Wisconsin

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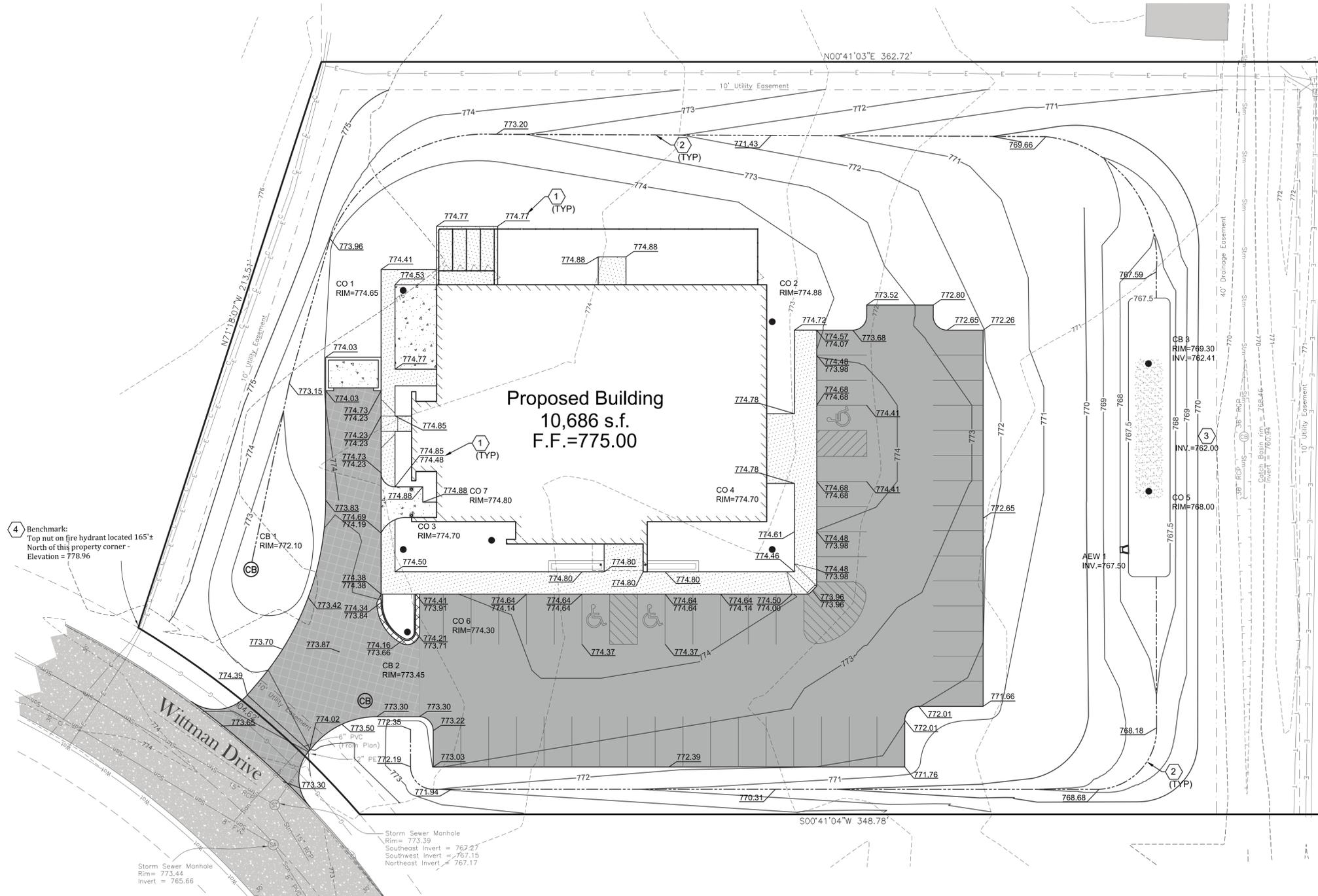
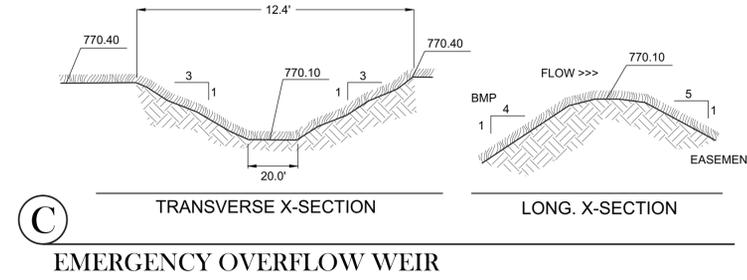
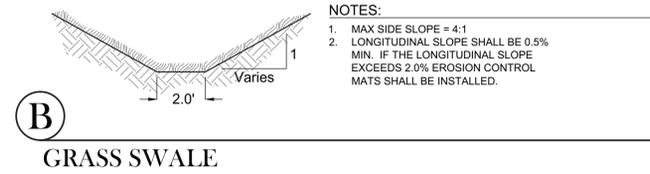
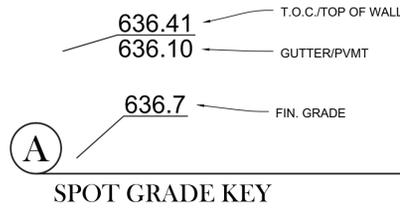
PROJECT # 011-009

DATE 01-31-12

REVISION	DATE

DRAWING # C3.0

# Site Grading Plan

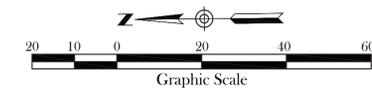


## SHEET KEY NOTES:

- ① SPOT GRADE KEY; SEE DETAIL A THIS SHEET.
- ② GRASS-LINED SWALE; SEE DETAIL B THIS SHEET.
- ③ EMERGENCY OVERFLOW WEIR; SEE DETAIL C THIS SHEET.
- ④ BENCHMARK LOCATION.

## GENERAL NOTES:

1. FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
2. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0.
3. FOR NOTES SHOWN THUS, "②", SEE SHEET KEY NOTES, THIS SHEET.
4. CARE SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
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7. ELEVATIONS REFERENCED TO NAVD88 DATUM.



# Erosion Control Plan

## CONSTRUCTION NOTES:

- TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
- ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
- EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
- SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.
- THE CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.

## MAINTENANCE PLAN:

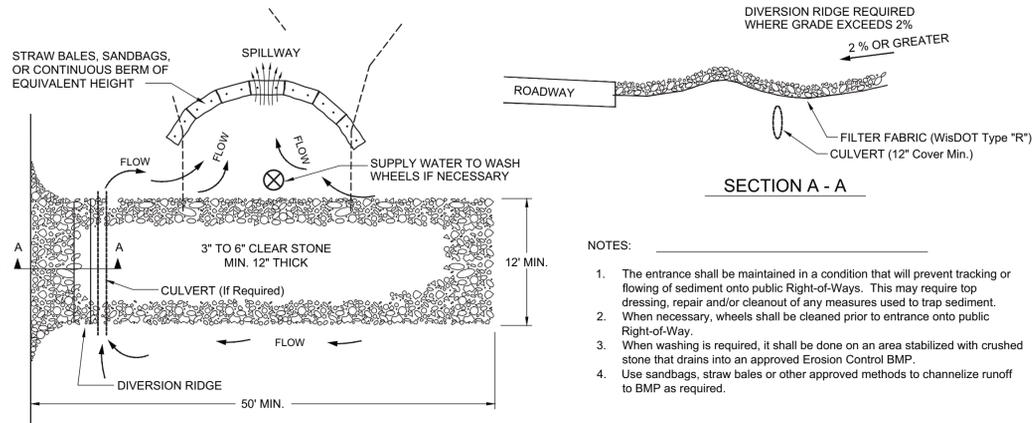
- ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
- REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
- ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
- REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
- SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEP OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
- COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
- AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

## PLANNED EROSION CONTROL PRACTICES:

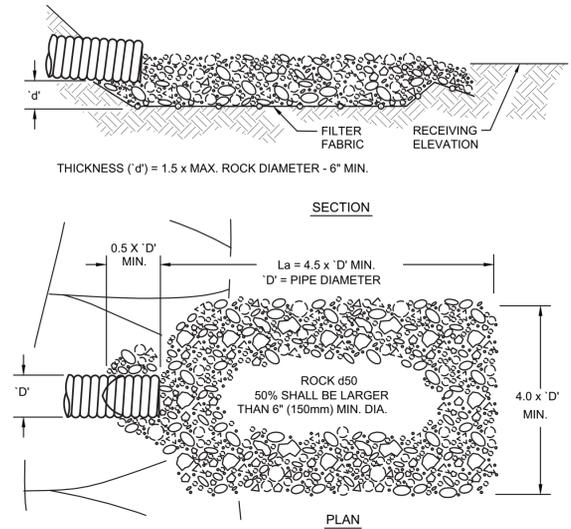
- SILT FENCE** (TECH. STANDARD 1056)  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
- INLET PROTECTION** (TECH STANDARD 1060)  
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
- DUST CONTROL** (TECH STANDARD 1068)  
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
- STOCKPILED TOPSOIL/TEMPORARY FILL PILES**  
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
- TEMPORARY CONSTRUCTION ENTRANCE/EXIT** (TECH. STANDARD 1057)  
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
- EROSION CONTROL MATS** (TECH. STANDARD 1053)  
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.

## NOTES:

- The entrance shall be maintained in a condition that will prevent tracking or flowing of sediment onto public Right-of-Ways. This may require top dressing, repair and/or cleanout of any measures used to trap sediment.
- When necessary, wheels shall be cleaned prior to entrance onto public Right-of-Way.
- When washing is required, it shall be done on an area stabilized with crushed stone that drains into an approved Erosion Control BMP.
- Use sandbags, straw bales or other approved methods to channelize runoff to BMP as required.



STONE TRACKING PAD



## NOTES:

- 'La' = LENGTH OF APRON. DISTANCE 'La' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
- APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
- FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" (150mm) THICK MINIMUM GRADED GRAVEL LAYER.

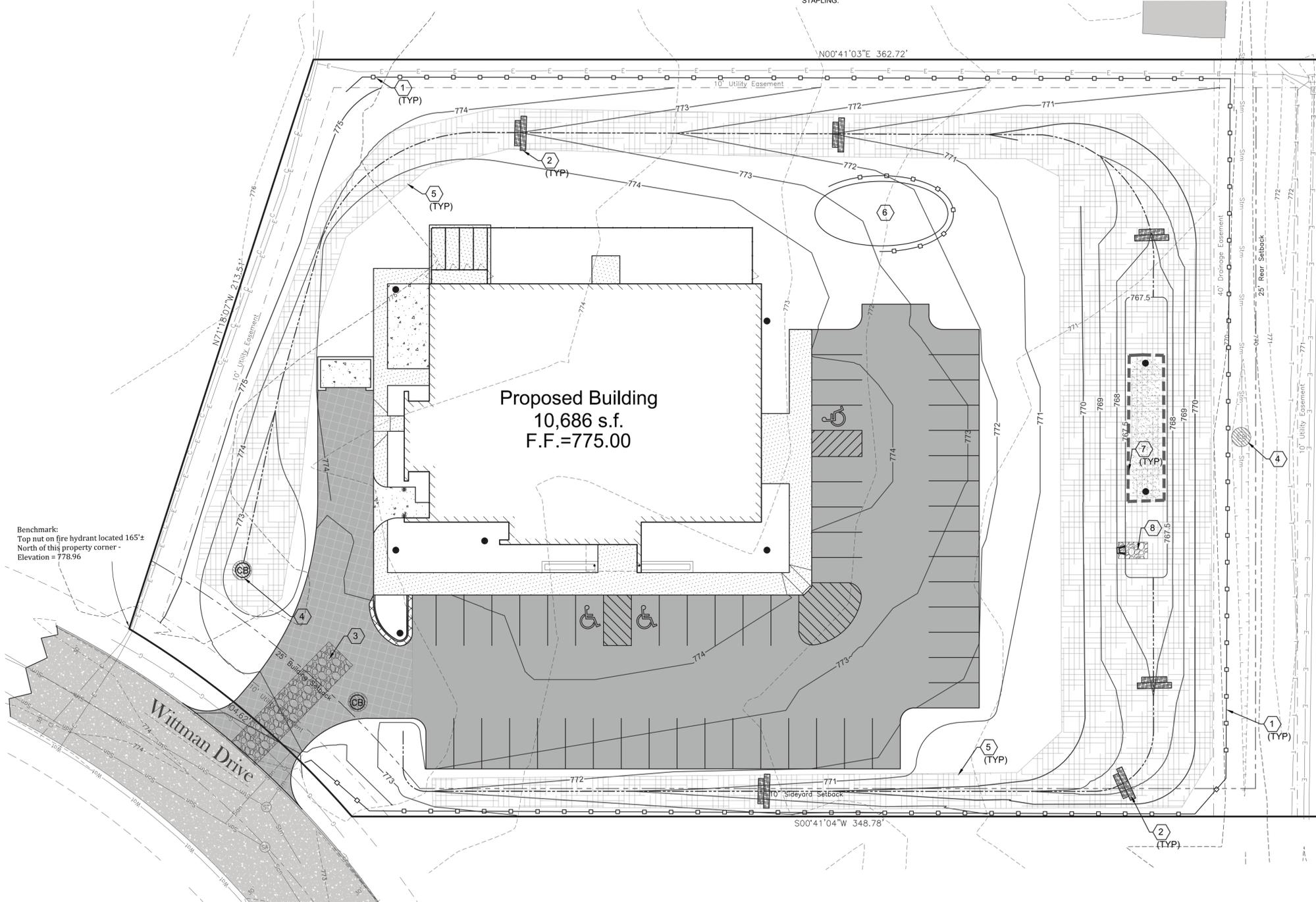
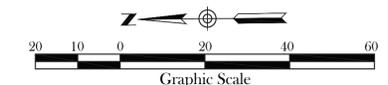
## ENERGY DISSIPATOR

## SHEET KEY NOTES:

- SILT FENCE; SEE DETAIL A SHEET C6.1.
- DITCH CHECK; SEE DETAIL B SHEET C6.1.
- STONE TRACKING PAD; SEE DETAIL A THIS SHEET.
- INLET PROTECTION; SEE DETAIL C SHEET C6.1.
- EROSION CONTROL MAT; SEE DETAIL D SHEET C6.1.
- TEMPORARY SOIL STOCKPILE.
- CURLEX SEDIMENT LOGS. SEDIMENT LOGS TO BE PLACED IMMEDIATELY AFTER THE PLACEMENT OF THE BIO-FILTRATION ENGINEERED SOIL/FILTRATION MEDIA. SEDIMENT LOGS TO REMAIN IN PLACE AND BE MAINTAINED UNTIL SITE IS STABILIZED.
- ENERGY DISSIPATOR; SEE DETAIL B THIS SHEET.

## GENERAL NOTES:

- FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0.
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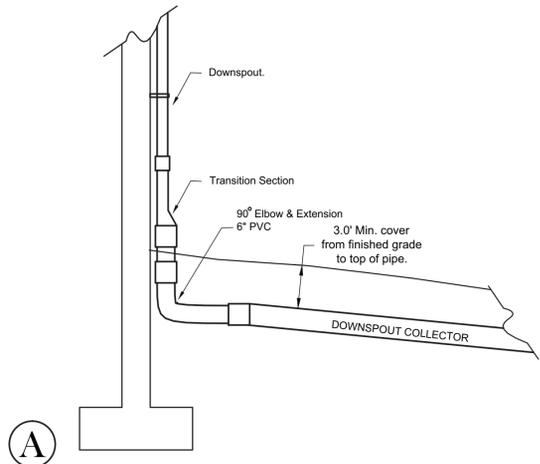
**PROJECT #**  
011-009

**DATE**  
01-31-12

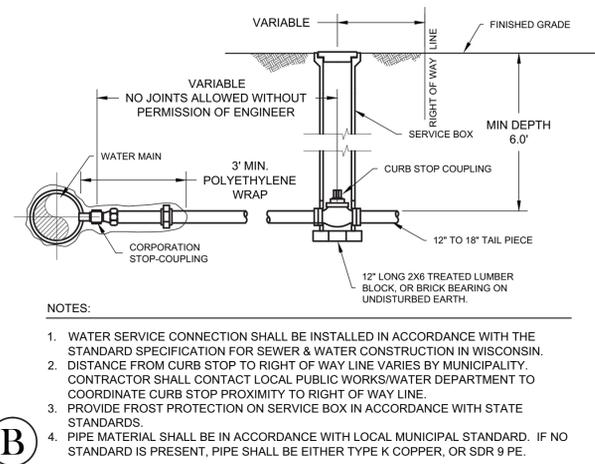
REVISION	DATE

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C5.0

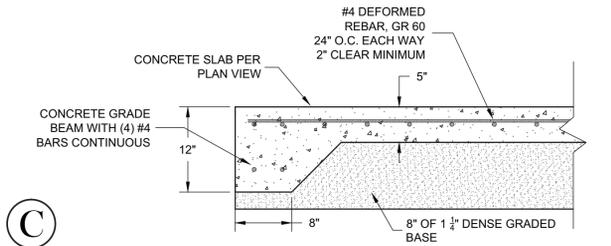
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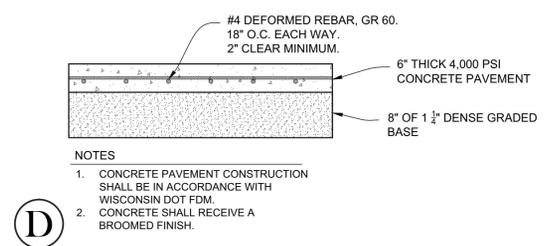
**A** DOWNSPOUT DETAIL



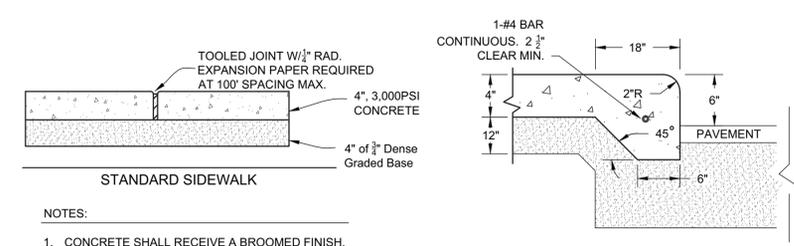
**B** WATER SERVICE CONNECTION



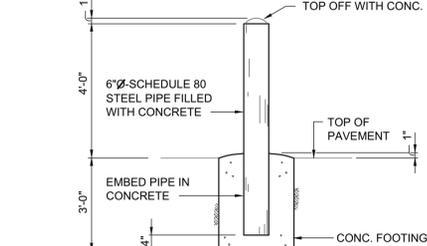
**C** DUMPSTER ENCLOSURE PAD



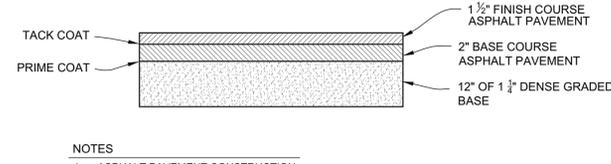
**D** CONCRETE PAVEMENT/SLAB SECTION



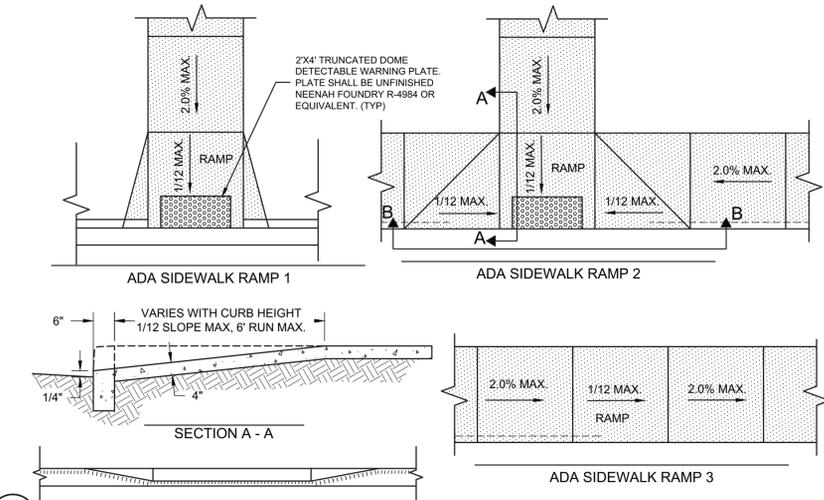
**E** CONCRETE SIDEWALK



**F** PIPE BOLLARD

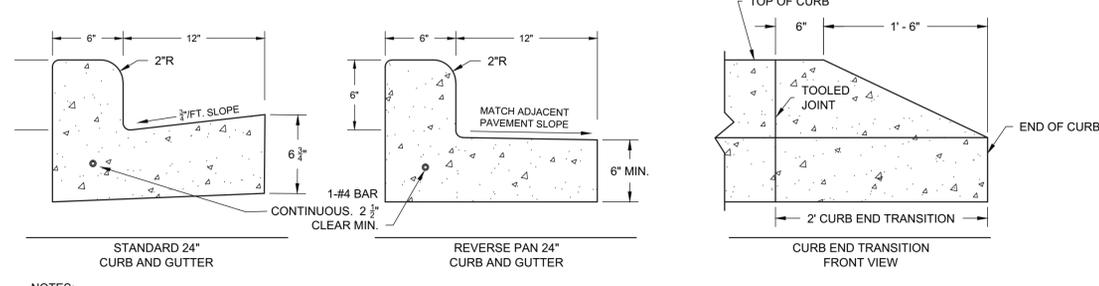


**G** HEAVY DUTY ASPHALT PAVEMENT SECTION



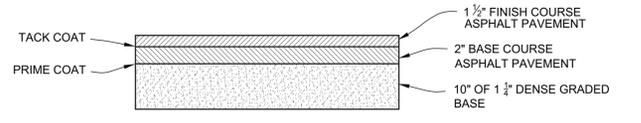
**H** ADA SIDEWALK RAMPS

- NOTES:
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH "ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" LATEST EDITION.
  - USE RAMP 1 WHERE ADA ROUTE MEETS CURB AND THERE IS NO PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
  - USE RAMP 2 WHERE ADA ROUTE MEETS CURB AND THERE IS PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
  - USE RAMP 3 WHERE ADA ROUTE DOES NOT MEET CURB BUT A RAMP SECTION IS REQUIRED FOR GRADE.
  - DETECTABLE WARNING SHALL BE PLACED WHERE PEDESTRIAN TRAFFIC IS AT GRADE WITH VEHICULAR TRAFFIC.
  - MAXIMUM RAMP RUN IS 6' AT 1/12 SLOPE FOR A MAXIMUM RISE OF 6". RAMPS WITH A RISE OF >6" REQUIRE AN ADA COMPLIANT HANDRAIL.



- NOTES:
- THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE.
  - LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWINGS.
  - CURB SHALL BE PLACED ON A MINIMUM OF 6" OF DENSE GRADED BASE.

**I** 24" CURB AND GUTTER



- NOTES:
- ASPHALT PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.

**J** STANDARD DUTY ASPHALT PAVEMENT SECTION

## GENERAL NOTES:

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- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0.
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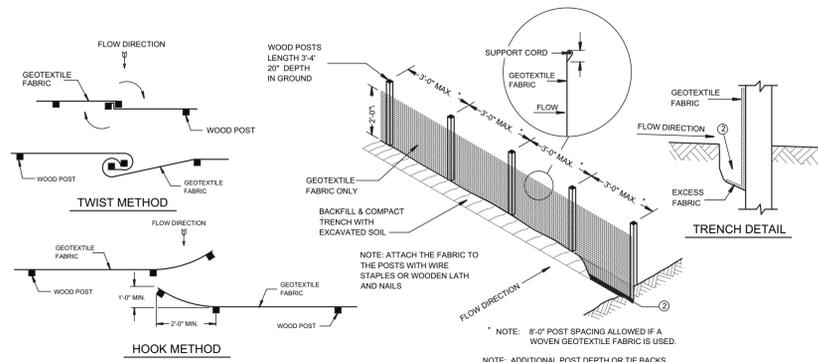


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DATE	01-31-12
REVISION	DATE
DRAWING #	C6.0

# Site Details



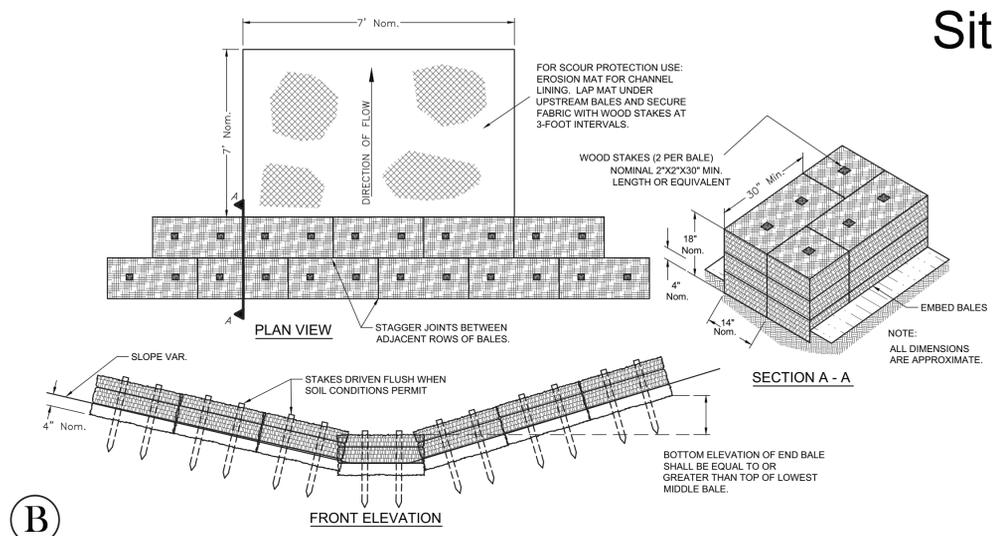
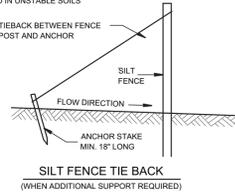
## JOINING TWO LENGTHS OF SILT FENCE

### GENERAL NOTES:

- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF OAK OR HICKORY.
- SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES; B) HOOK THE END OF EACH SILT FENCE LENGTH.

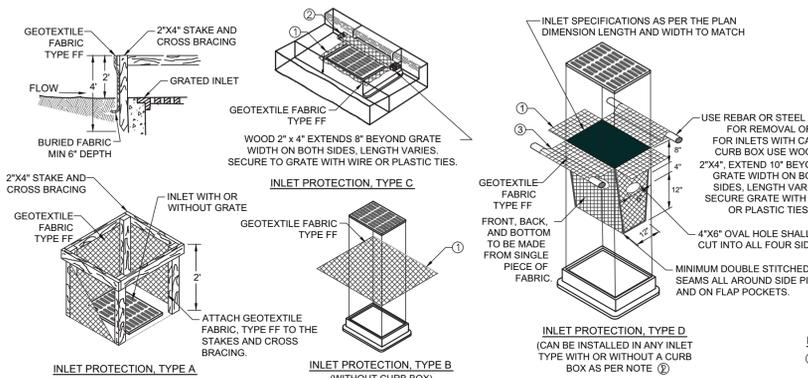
NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

NOTE: ADDITIONAL POST DEPTH OR THE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.



## TEMPORARY EROSION BALE DITCH CHECK

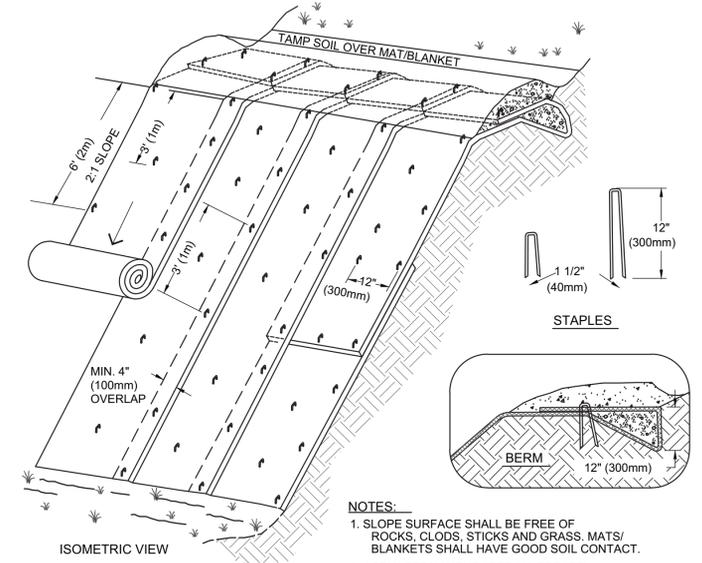
## A SILT FENCE



**INSTALLATION NOTES**  
**TYPE D**  
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.  
 This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.

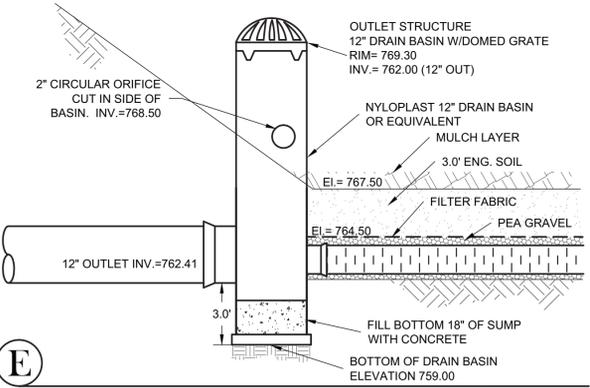
**KEYNOTES:**  
 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.  
 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY TO ACCEPT WOODSLOPE.  
 3 FLAP POCKETS SHALL BE INSTALLED VERTICALLY TO ACCEPT WOODSLOPE.

**GENERAL NOTES**  
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

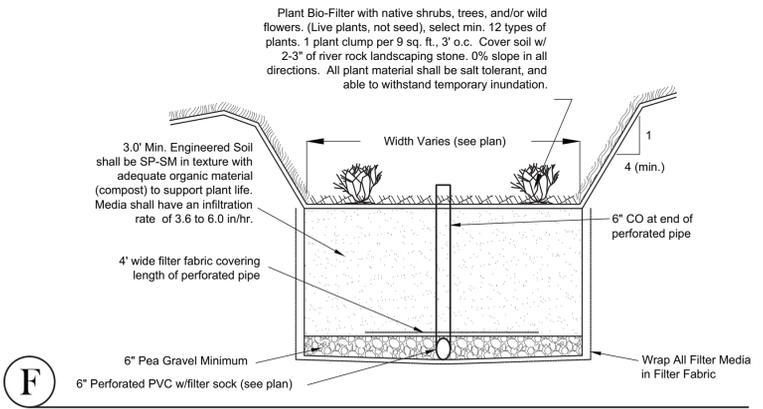


## D EROSION CONTROL MAT FOR SLOPE INSTALLATION

## C INLET PROTECTION



## E BMP OUTLET STRUCTURE



## F TYPICAL BIO-FILTER CROSS SECTION

**BIO-FILTER CONSTRUCTION SEQUENCING AND OVERSIGHT**

- A person trained and experienced in the construction, operation and maintenance of infiltration devices shall be responsible for construction of the device. The following apply:

- Construction Site Stabilization - Construction site runoff from disturbed areas shall not be allowed to enter the bioretention device. Runoff from pervious areas shall be diverted from the device until the pervious areas have undergone final stabilization.
- Suitable Weather - Construction shall be suspended during periods of rainfall or snowmelt. Construction shall remain suspended if ponded water is present or if residual soil moisture contributes significantly to the potential for soil smearing, clumping or other forms of compaction.
- Compaction Avoidance - Compaction and smearing of the soils beneath the floor and side slopes of the bioretention area, and compaction of the soils used for backfill in the soil planting bed, shall be minimized. During site development, the area dedicated to the bioretention device shall be cordoned off to prevent access by heavy equipment. Acceptable equipment for constructing the bioretention device includes excavation hoes, light equipment with turf type tires, marsh equipment or wide-track loaders.
- Compaction Remediation - If compaction occurs at the base of the bioretention device, the soil shall be refractured to a depth of at least 12 inches. If smearing occurs, the smeared areas of the interface shall be corrected by raking or roto-tilling.
- Placement and Settling of Engineered Soil - The following apply:
  - Prior to placement in the bioretention device, the engineered soil shall be premixed and the moisture content shall be low enough to prevent clumping and compaction during placement.
  - The engineered soil shall be placed in multiple lifts, each approximately 12 inches in depth.
  - Steps may be taken to induce mild settling of the engineered soil bed as needed to prepare a stable planting medium and to stabilize the ponding depth. Vibrating plate-style compactors shall not be used to induce setting.
- Planting - The entire soil planting bed shall be mulched prior to planting vegetation to help prevent compaction of the planting soil during the planting process. Mulch shall be pushed aside for the placement of each plant.

**GENERAL NOTES:**

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- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0.
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Appanasha Pet Clinic  
 Menasha, Wisconsin

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PROJECT #	011-009
DATE	01-31-12
REVISION	DATE
DRAWING #	C6.1

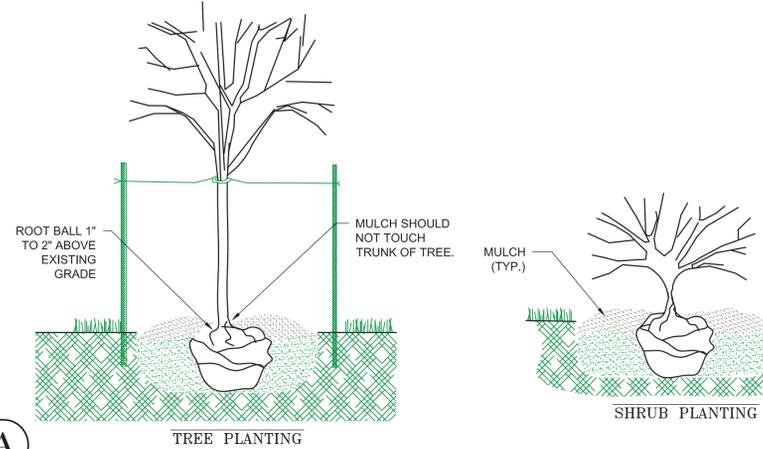
# PLANTING SCHEDULE

Quantity	Symbol	ABBREV.	Common Name	Planting Size	Mature Size
13	●	PM	PARDON ME DAYLILY	#1	18"-24"
17	●	SD	STELLA D'ORO DAYLILY	#1	12"-18"
2	●	WD	WHITE DOGWOOD	2"	15'-25'
3	●	SY	SPREADING YEW	12"-18"	3'-4'
5	○	F	FORSYTHIA	#3	3'-6"
3	●	DK	DWARF KOREAN LILAC	2'-3'	5'-6"
7	●	BB	DWARF BURNING BUSH	2'-3'	5'-6"
2	●	GL	GREENSPIRE LINDEN	2"	40'
6	●	GF	GOLD FLAME SPIREA	12"-18"	2'-3'
20	●	EGA	EMERALD GREEN ARBORVITAE	5'-6"	10'-15'
5	○	BS	BLACK HILLS SPRUCE	5'-6"	30'
2	●	AH	ANNABELLE HYDRANGEA	#3	3'-4"
10	●	AB	AUTUMN BLAZE MAPLE	2.5"	50'
1	●	BC	BRANDYWINE CRABAPPLE	5' - 6'	15'-20'

## BIO-RETENTION ACCEPTABLE PLANT LIST

Live plants provided for the bio-filtration device shall be planted at 3' O.C., and shall be the Moist Meadow and Rain Garden Mix from Prairie Nursery, or equivalent. The mix shall include 12 to 20 types of wildflowers, and 3 to 8 types of grasses. Acceptable Plants are as follows:

- Wildflowers:**
- |                    |                     |                         |                   |
|--------------------|---------------------|-------------------------|-------------------|
| Nodding Pink Onion | Blue Flag Iris      | Black Eyed Susan        | Ironweed          |
| Red Milkweed       | Prairie Blazingstar | Green Headed Coneflower | Culver's Root     |
| New England Aster  | Dense Blazingstar   | Sweet Black Eyed Susan  | Golden Alexanders |
| White False Indigo | Great Blue Lobelia  |                         |                   |
| Wild Senna         | Cardinal Flower     |                         |                   |
| Joe Pye Weed       | Monkeyflower        | Brown Eyed Susan        |                   |
| Boneset            | Bergamot            | Common Arrowhead        |                   |
| Dogtooth Daisy     | Wild Quinine        | Ohio Goldenrod          |                   |
| Ox Eye Sunflower   | Smooth Penstemon    | Stiff Goldenrod         |                   |
| Wild Iris          | Yellow Coneflower   | Blue Vervain            |                   |
- Grasses, Sedges & Bulrushes:**
- |                   |                    |
|-------------------|--------------------|
| Bluejoint Grass   | Canada Wild Rye    |
| Virginia Wild Rye | Bebb's Sedge       |
| Bottlebrush Sedge | Porcupine Sedge    |
| Awl Fruited Sedge | Fox Sedge          |
| Common Rush       | Dark Green Bulrush |
| Woolgrass         |                    |



PLANTING DETAIL

# LANDSCAPE PLAN

## PLANTING NOTES:

- PLANTING HOLE SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL, AND EQUAL TO THE DEPTH OF THE ROOT BALL.
- EXCAVATED SOIL FROM PLANTING HOLE SHALL BE MIXED WITH 1 PART POTTING SOIL TO 2 PARTS EXCAVATED SOIL.
- PLANT SO THAT THE ROOT COLLAR WILL BE 1" TO 2" ABOVE EXISTING GRADE.
- IF BALLED AND BURLAPED, PLACE PLANT IN HOLE, CUT THE BURLAP TWINE, AND PEEL BACK THE TOP TWO THIRDS OF BURLAP. IF POTTED REMOVE POT, AND PLACE PLANT INTO HOLE.
- BACKFILL HOLE WITH PREPARED SOIL, AND MOUND SOIL 2" TO 3" HIGH IN A RING AT THE PERIMETER OF THE EXCAVATED HOLE. WATER AND SMOOTH RING PRIOR TO MULCHING.
- MULCH WITH 3" OF SHREDDED HARDWOOD MULCH OR LANDSCAPE STONE (RIVER ROCK, NOT CRUSHED STONE)
- IF STAKING IS REQUIRED FOR TREES TWO STAKES SHALL BE USED ONE ON THE PREVAILING WIND SIDE OF THE TREE, AND THE OTHER STAKE ON THE OPPOSITE SIDE. STAKES SHALL BE FASTENED TO THE TREE USING RUBBER TUBING, OR NYLON STRAPPING.

## BIO-RETENTION PLANT SCHEDULE

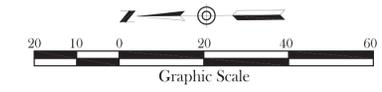
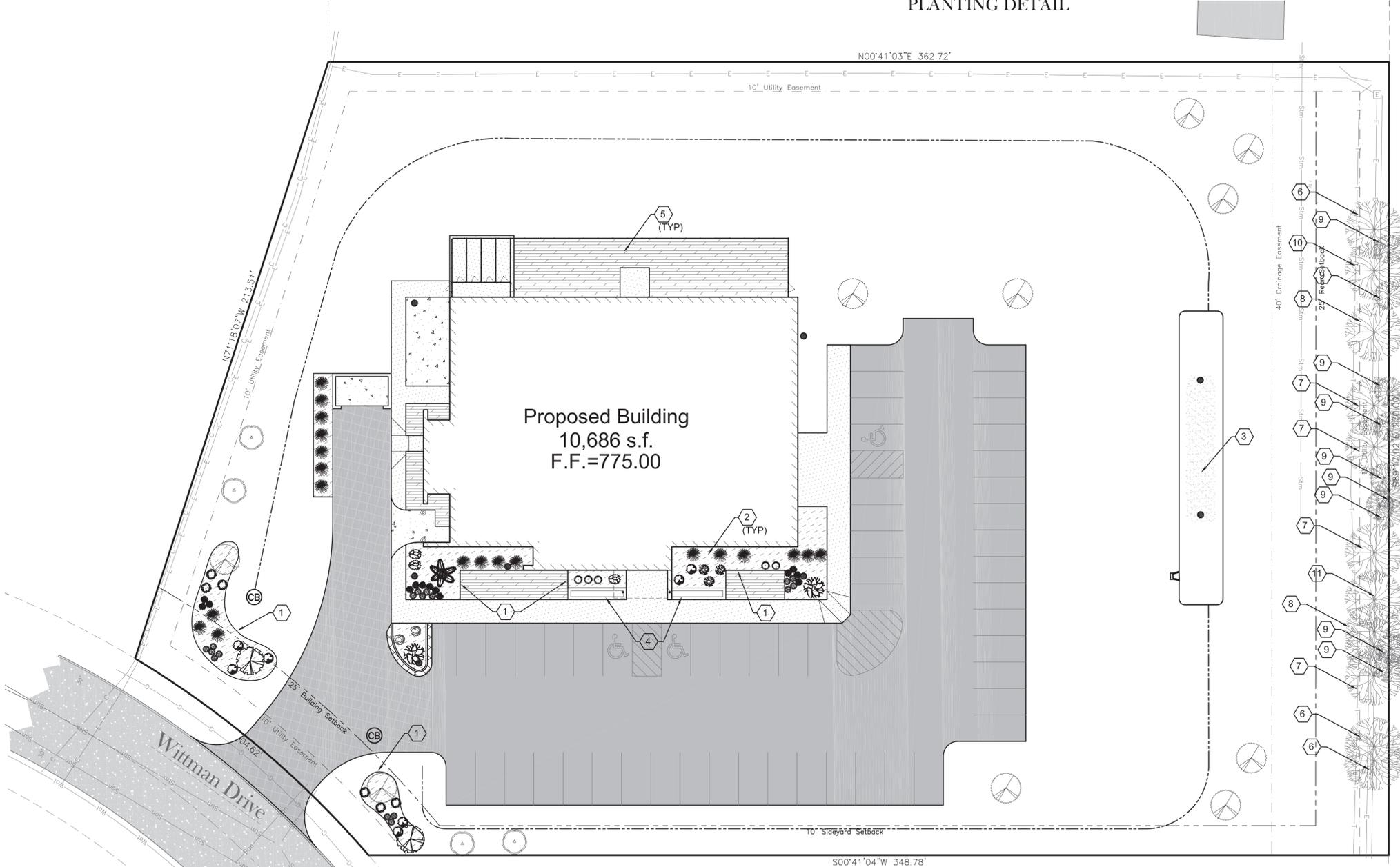
Quantity	Common Name
6	FOX SEDGE
6	WHITE TURTLEHEAD
6	SWEET BLACK EYED SUSAN
6	IRONWEED
6	GOLDEN ALEXANDERS
6	BIG BLUESTEM
6	NEW ENGLAND ASTER
6	BOTTLE GENTIAN
6	BLUE FLAG IRIS
6	MARSH BLAZINGSTAR
6	GREAT BLUE LOBELIA

## SHEET KEY NOTES:

- PROFESSIONAL GRADE LANDSCAPE EDGING.
- PLANTING BED MULCH AREA. MULCH TO BE RIVER STONE OR EQUAL AS SELECTED BY OWNER.
- BIO FILTER PLANTING BED: (500 SF AREA) SEE BIO FILTER PLANT SCHEDULE AND LIST THIS SHEET. FOR ADDITIONAL DETAILS SEE DETAIL F SHEET C6.1.
- PLANTER: CONTRACTOR TO PROVIDE, 6"-8" OF PEA STONE AND FILTER FABRIC OVER DRAIN TILE, AND THEN TOPSOIL AND MULCH TO TOP OF PLANTER BOX. OWNER TO PLANT ANNUALS AS DESIRED.
- SOD: PROVIDE TOPSOIL AND SOD PINS AS RECOMMENDED BY NURSERY.
- EXISTING POPLAR (16'+).
- EXISTING ASH (16'+).
- EXISTING CHERRY (16'+).
- EXISTING CHERRY CLUMP (13'+).
- EXISTING OAK (16'+).
- EXISTING MAPLE (16'+).

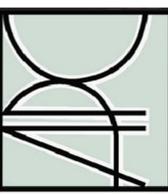
## GENERAL NOTES:

- FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C4.0.
- FOR NOTES SHOWN THUS, "(2)", SEE SHEET KEY NOTES, THIS SHEET.
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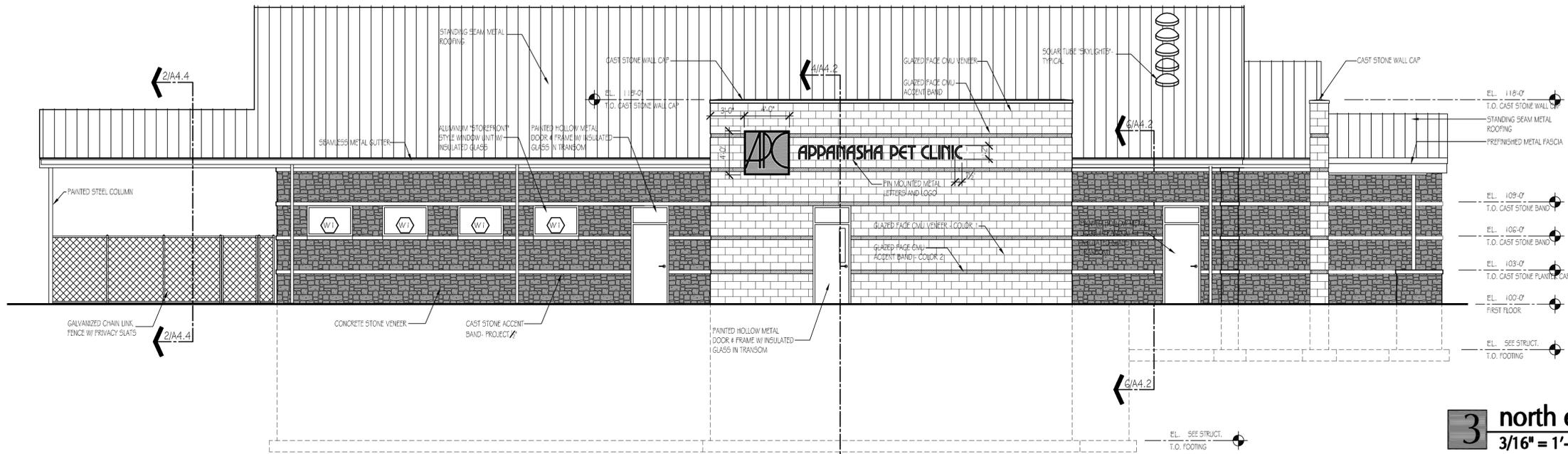
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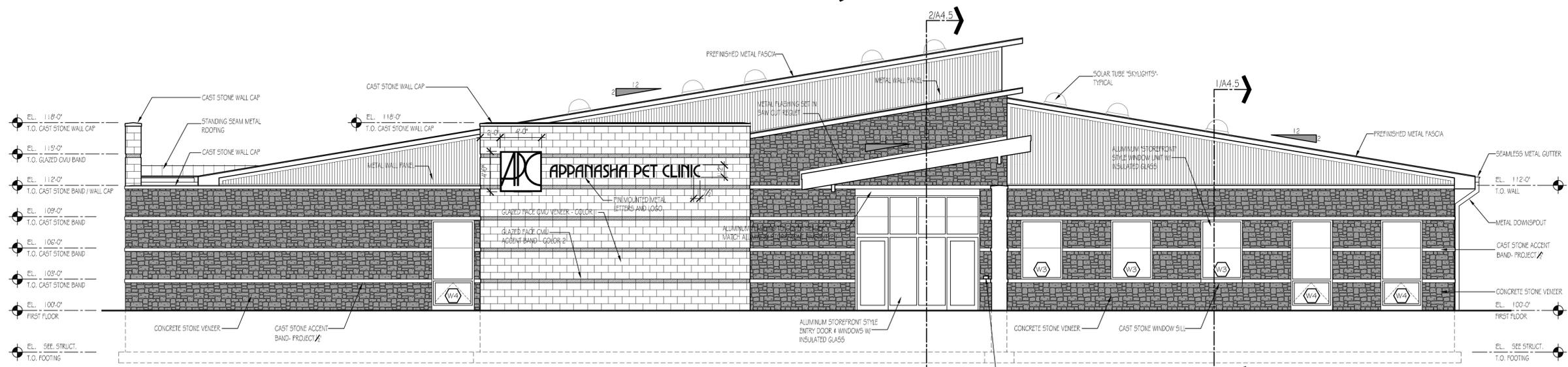
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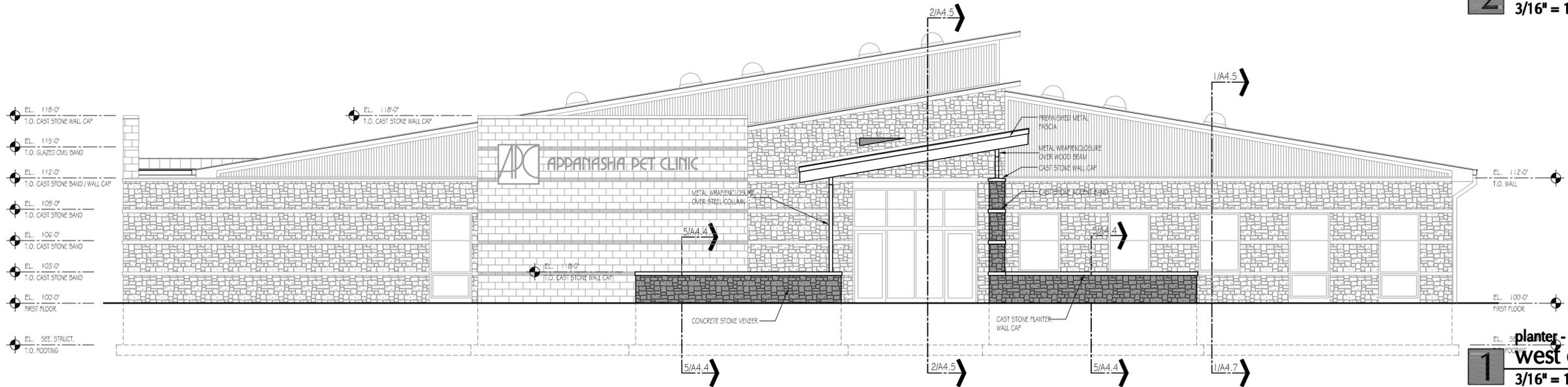
PROJECT #	011-009
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**3 north elevation**  
3/16" = 1'-0"



**2 west elevation**  
3/16" = 1'-0"



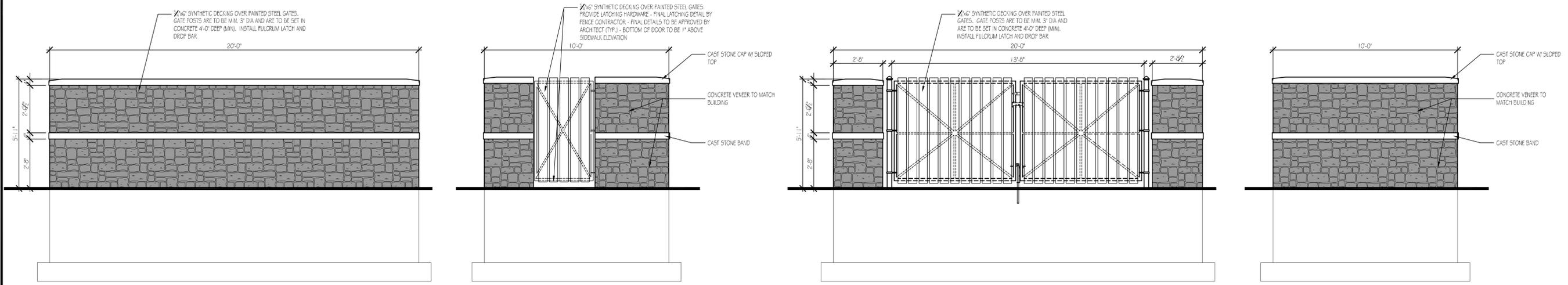
**1 planter - entry west elevation**  
3/16" = 1'-0"



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<b>DATE</b> 1-31-12	
<b>REVISION</b>	<b>DATE</b>

**DRAWING #**  
**A3.1**

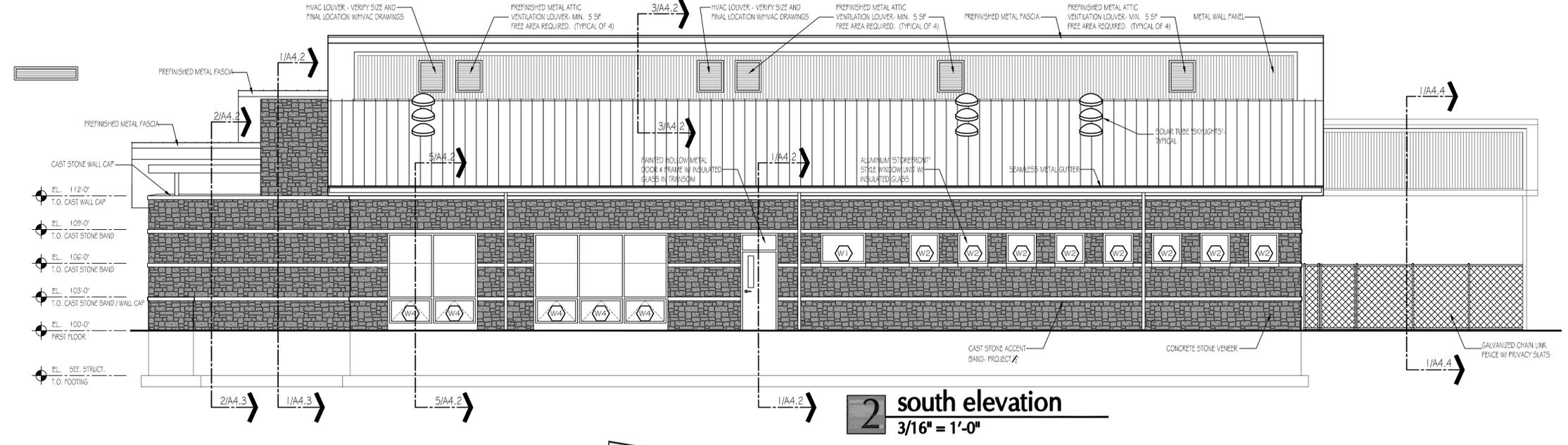


**6** east elevation refuse enclosure  
3/8" = 1'-0"

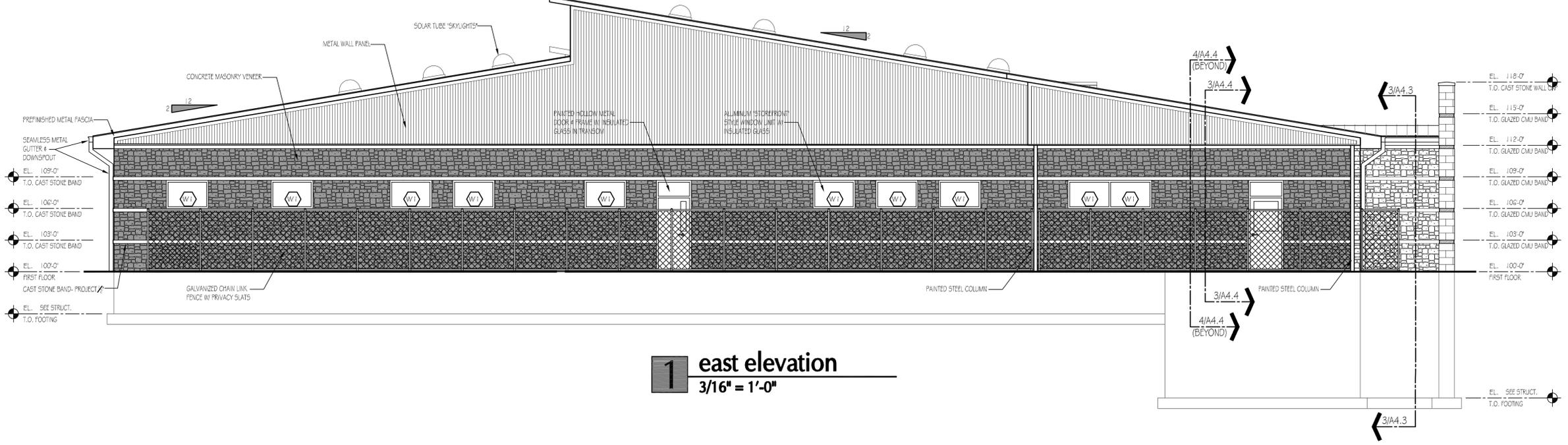
**5** south elevation refuse enclosure  
3/8" = 1'-0"

**4** north elevation refuse enclosure  
3/8" = 1'-0"

**3** west elevation refuse enclosure  
3/8" = 1'-0"



**2** south elevation  
3/16" = 1'-0"



**1** east elevation  
3/16" = 1'-0"



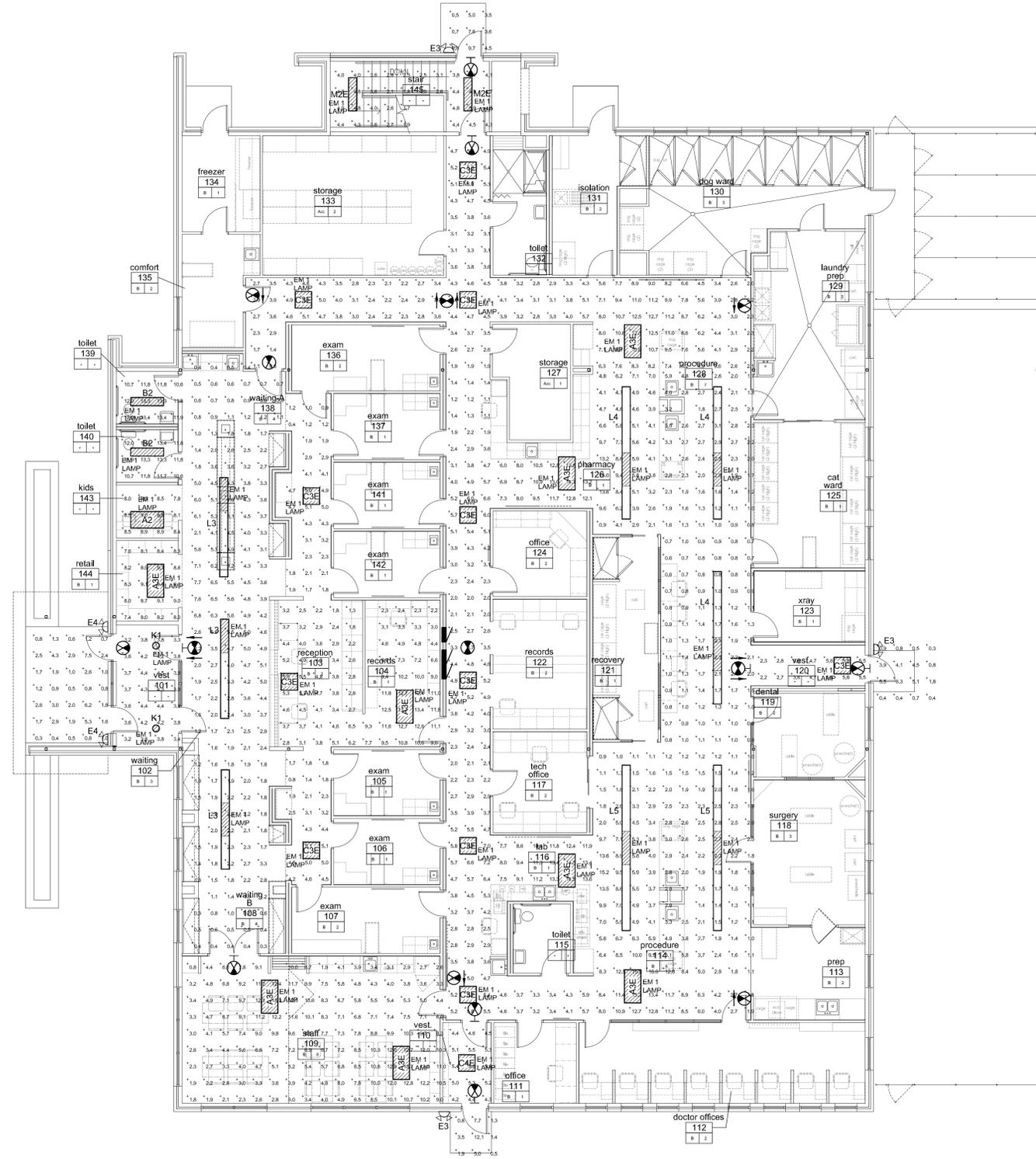
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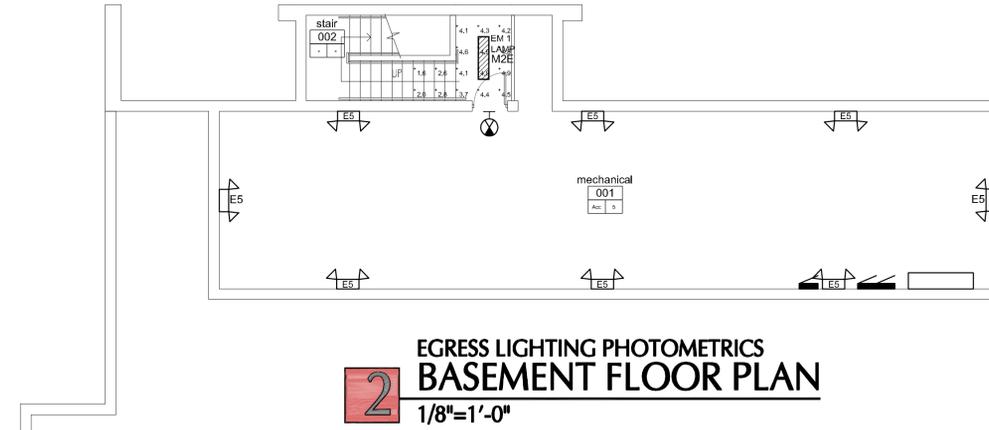
**DATE**  
1-31-12

REVISION	DATE

**DRAWING #**  
**A3.2**



**1** EGRESS LIGHTING PHOTOMETRICS  
**FIRST FLOOR PLAN**  
 1/8" = 1'-0"

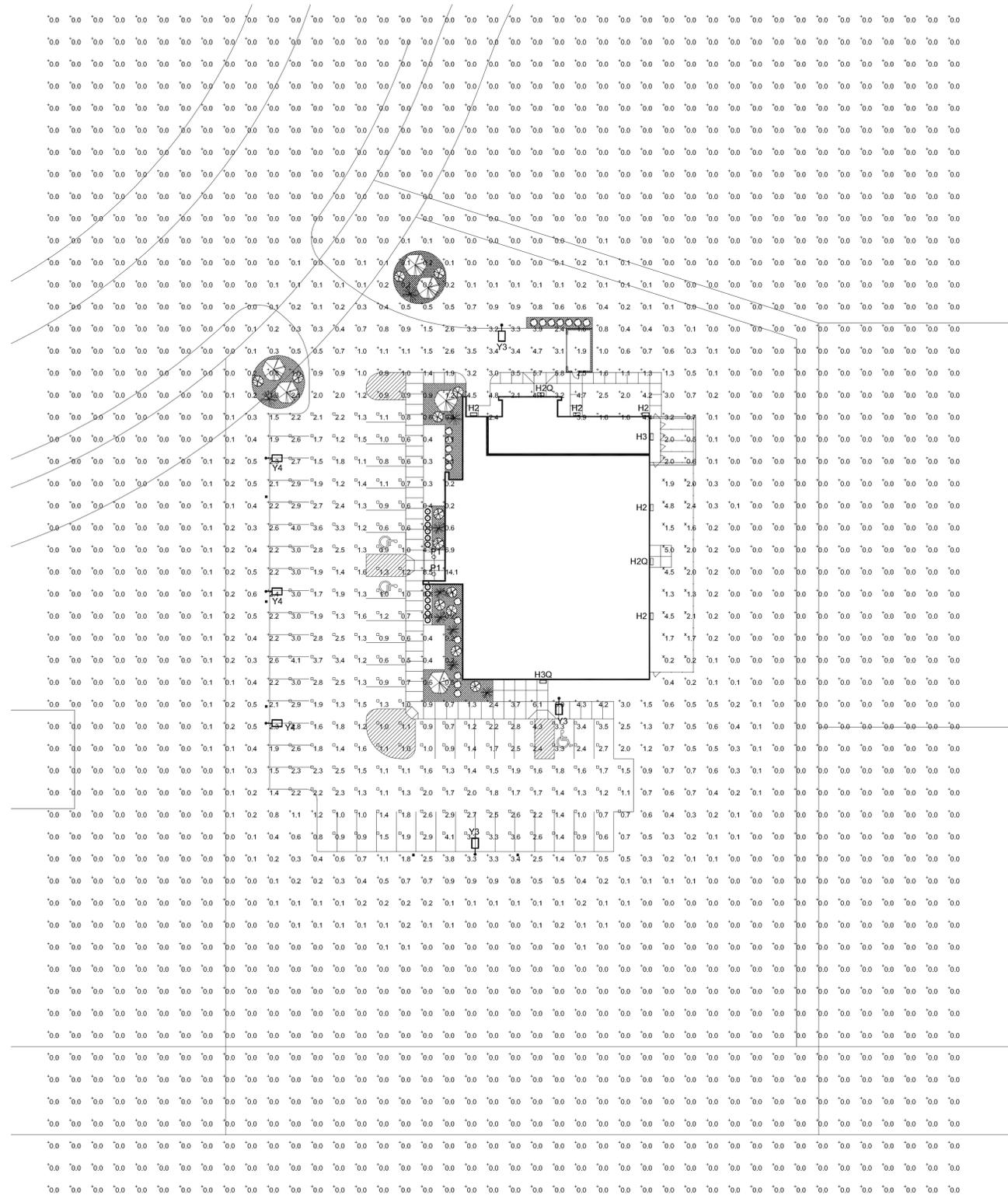


**2** EGRESS LIGHTING PHOTOMETRICS  
**BASEMENT FLOOR PLAN**  
 1/8" = 1'-0"

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EXTERIOR OF VEST 101	+	2.0 fc	7.5 fc	0.3 fc	25.0:1	6.7:1
Corridor FLOOR	+	5.3 fc	14.5 fc	0.6 fc	24.2:1	8.8:1
EXTERIOR OF STAIR 145	+	4.0 fc	9.7 fc	0.5 fc	19.4:1	8.0:1
EXTERIOR OF VEST 110	+	3.8 fc	12.1 fc	0.5 fc	24.2:1	7.6:1
EXTERIOR OF VEST 120	+	2.3 fc	6.3 fc	0.3 fc	21.0:1	7.7:1
KIDS 143 FLOOR	+	8.5 fc	9.0 fc	7.8 fc	1.2:1	1.1:1
Procedure 114/128 FLOOR	+	3.1 fc	16.0 fc	0.6 fc	26.7:1	5.2:1
REC 103 AND RECORDS 104 FLOOR	+	5.8 fc	13.7 fc	1.3 fc	10.5:1	4.5:1
RETAIL 144 FLOOR	+	8.5 fc	9.4 fc	7.4 fc	1.3:1	1.1:1
STAFF 109 FLOOR	+	6.8 fc	13.7 fc	0.8 fc	17.1:1	8.5:1
Stair 002 FLOOR	+	3.9 fc	4.9 fc	1.6 fc	3.1:1	2.4:1
Stair 145 FLOOR	+	3.7 fc	5.0 fc	1.7 fc	2.9:1	2.2:1
Toilet 139 FLOOR	+	12.2 fc	13.4 fc	10.6 fc	1.3:1	1.2:1
Toilet 140 FLOOR	+	12.1 fc	13.4 fc	10.6 fc	1.3:1	1.1:1
Vest 101 FLOOR	+	3.9 fc	4.5 fc	3.2 fc	1.4:1	1.2:1
Vest 110 FLOOR	+	5.0 fc	5.8 fc	4.2 fc	1.4:1	1.2:1
Vest 120 FLOOR	+	4.3 fc	5.8 fc	2.2 fc	2.6:1	2.0:1
WAITING 108 AND 138 FLOOR	+	2.7 fc	7.7 fc	0.3 fc	25.7:1	9.0:1
Waiting Corridor North FLOOR	+	2.8 fc	5.1 fc	0.4 fc	12.8:1	7.0:1
Waiting Corridor South FLOOR	+	3.2 fc	5.1 fc	0.8 fc	6.4:1	4.0:1

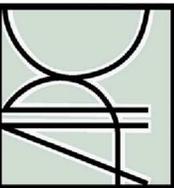


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<b>REVISION</b>	<b>DATE</b>
1	XX-XX-XX



STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Fenced Yard GROUND	X	2.3 fc	5.0 fc	0.2 fc	25.0:1	11.5:1
Parking Lot GROUND	□	1.8 fc	4.3 fc	0.5 fc	8.6:1	3.6:1
Site GROUND	+	0.3 fc	14.1 fc	0.0 fc	N/A	N/A

**1** ELECTRICAL  
SITE PLAN  
1" = 30'-0"



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**DRAWING #**  
**E0.1**



APPANASHA  
PET CLINIC

APPANASHA  
PET CLINIC



**Community Development Department  
Plan Commission Staff Report  
February 16, 2012**

**Agenda Item F.3. Province Terrace Office Suites, 1427 Province Terrace, Parcel 7-00050-03**

Applicant: Province LLC

Requested action: Revised Site and Landscape Plan Approval

Proposed: Office Suites

Location: 1427 Province Terrace

Existing Zoning: C-3 Business and Office District

Surrounding Zoning: C-3 Business & Office District (North, South & West); R-1a Low Density Single-Family Residential (East)

Existing Land Use: Partially Completed Office Building

---

**1. General**

In 2006, Plan Commission approved the site plan for offices at 1427 and 1429 Province Terrace. Prior to completion of the buildings and site improvements, the original developer halted development, and the property was eventually foreclosed on by Anchor Bank.

The property was later divided by CSM, of which the northern site (1429 Province) was acquired by Salon Eternity, who submitted a revised site plan to Plan Commission on 2010, which was approved and improvements are nearing completion.

Scott Dewitt, owner of Province LLC acquired the southern site (1427 Province), which he is finishing into three office suites that will be leased. He has submitted this revised Site and Landscape Plan to the Plan Commission for review and approval.

**2. Site Layout**

This site is zoned C-3 Business and Office District. The existing structure conforms to the minimum setback requirements in the C-3 District.

**3. Site Access and Parking**

Proposed access for the site for both pedestrian and vehicular traffic will come from Province Terrace; the site also has access from the property to the north (Salon Eternity) where cross access easements are in place for the parking lot. As presented, the revised site plan provides a pedestrian sidewalk connecting the building to Province Terrace on the south end of the parking lot.

There is 4,922 square feet of office space; the code requires at least one parking space for each four hundred square feet of publicly used floor area. This would constitute a minimum of 13 parking stalls being provided. 25 stalls, including two handicap, are provided in their entirety on the site. Another two are shared with the neighboring property. An additional four stalls (8 total with neighboring property) are proposed on the east side of the parking lot. Stall dimensions and aisles comply with minimum city standards, and also match the existing parking pattern of the Salon Eternity development.

**4. Site Grading, Drainage, Stormwater Management, Erosion Control, and Utilities**

The site is gently sloped, and drains to the east and south, where drainage easements are in place. The parking lot drains to a catch basin that drains to the city's storm sewer on Province Terrace; a gap is proposed in the center landscape island to allow for proper drainage of the parking lot to this catch basin inlet.

Plans for erosion control and stormwater management were previously submitted and approved by the Public Works/Engineering Department. Sanitary sewer and water are available from the Waverly Sanitary District; stormwater is available from the City of Menasha.

**5. Landscaping and Lighting**

The C-3 District calls for the installation of 20% landscaping; the proposed plan appears to meet this requirement. Additional detail regarding specimen types and size is needed, especially for the transitional area and the parking lot landscaping.

As the property abuts R-1A to the East, a transitional landscaping buffer is required. The proposed landscape plan provides evergreen trees along with small shrubs along the foundation of the rear building façade, and a fence (to be constructed jointly with Salon Eternity) to screen the parking lot area and mitigate any light intrusion from parking lot traffic. A better mixture of

deciduous and evergreen, along with plant variety is needed to comply with the transitional area requirements. In addition, as the proposed transitional area utilizes fencing as part of the screening, Plan Commission must approve this as a suitable alternative for the site.

Staff's review of the parking lot landscaping (islands and perimeter), indicate that the proposed site plan is very close to complying with parking lot landscaping requirements. Two additional canopy trees are required between the parking Lot and Province terrace, along with more information on plant selection is required. In particular, shrubs for the parking lot perimeter screening must be at least 50% deciduous.

The developer has indicated he plans to replicate the parking lot lighting approved for the Salon Eternity Development. Community development staff is expecting the full lighting plan to be submitted by the lighting contractor by the Plan Commission meeting.

**6. Architecture and Construction**

No changes were proposed to the building's façade, which was approved as part of the site plan in 2006, and was constructed shortly thereafter.

The dumpster enclosure is proposed for the south end of the parking lot. Discussions with Mr. DeWitt have indicated his desire to construct a dumpster enclosure to match that of Salon Eternity, while complying with the City's 75% opacity requirement.

There is currently no proposed location for signage, although future wall and/or monument signs will be needed. Location, design, lighting and size of all future signage will be controlled via the city's Sign Permit process and ordinance.

**7. Consistency with Zoning Comprehensive Plan**

The proposed use is consistent with the C-3 Zoning District Standards. The Comprehensive Plan calls for Regional Commercial along the Province Terrace Corridor, of which the proposed professional office use is compatible.

**8. Recommendation**

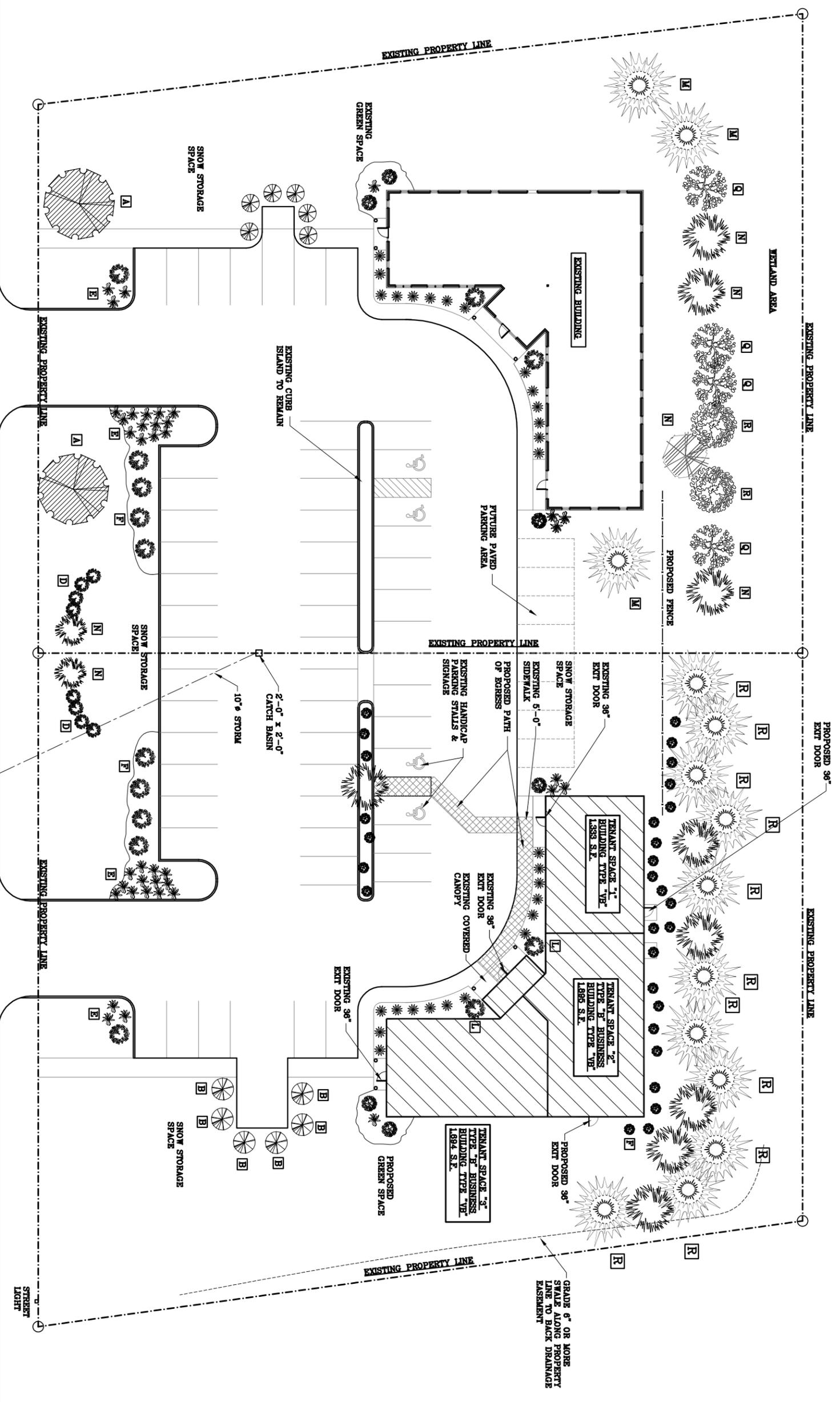
Community Development staff finds that the proposed office suite is compatible with surrounding land uses. The proposed Site and Landscape Plan, as revised, appears to comply with minimum standards set forth in the City of Menasha's Site Plan requirements, contingent on the conditions outlined below being met. The Community Development Department **recommends approval of the revised Site and Landscape Plan for the Province Terrace Offices** at parcel 7-00050-03, with the following conditions:

- Developer submits a lighting plan that is found acceptable by and approved by Community Development Staff, if not yet received and/or reviewed.
- Developer submits final design and materials for dumpster enclosure, which 75% opacity and be at least 6 feet in height.
- Developer submits a final landscaping plan to include the following:
  - Two additional deciduous canopy trees between the parking lot and Province Terrace
  - Revised planting scheme for the transitional area, to include a mix of deciduous and evergreen trees, and a greater variety of planting materials.
  - Parking Lot perimeter landscaping shrubs contain at least 50% evergreen.
  - Labeling of all planting materials, including proposed size and type.

Prepared by: PP Kara Homan, AICP

**PLANTING KEY:**

A.	NEWPORT PLUM.
B.	PYRAMID ARBORVITTE
C.	BLUE STAR JUNIPER
D.	DWARF KOREAN LILAC
E.	SPIREA YEW
F.	GOLD SPIREA
G.	SHASTA DAISEN
H.	BLANKET FLOWER
I.	DIANTHUS
J.	BLUECHIPS
K.	GLOBE ARBORVITTE
L.	WINE & ROSES WEIGELLA
M.	NORWAY PINE
N.	BLUE SPRUCE
P.	DARK GREEN ARBORVITTE
Q.	VULGARIS LILAC
R.	EVERGREEN



NORTH

# PROPOSED LANDSCAPE PLAN

1" = 30'-0"

PROVINCE TERRACE DRIVE

8' 6" SANITARY  
15' 6" STORM

8' 6" SANITARY  
15' 6" STORM

STREET LIGHT

GRADE 6" OR MORE SWALE ALONG PROPERTY LINE TO BACK DRAINAGE EASEMENT