

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**November 19, 2013
3:30 PM**

AGENDA

3:30 PM – Public Hearing Regarding Proposed Ordinance O-8-13 Relating to Setbacks to Drainage Easements

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. MINUTES TO APPROVE

1. [Minutes of the October 29, 2013 Plan Commission Meeting](#)

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

E. DISCUSSION

1. [Menasha High School Site and Building Plans](#)
2. [Amendment to Ordinance 13-1-52\(b\)\(1\) and \(2\) Relating to Driveway Surfacing](#)
3. [Proposed Amendment to Driveway Installation Policy – Establishing Maximum Driveway Width](#)
4. [Alternative Methods for Designing Drainage Easements](#)

F. ACTION ITEMS

1. [Amendment to Proposed Ordinance O-8-13 Relating to Setbacks to Drainage Easements](#)
2. [Province Terrace Trail Location North of Manitowoc Road](#)
3. [Amendment to Alpha Prime Site Plan Condition Pertaining to Stormwater Management – 835 Valley Road](#)

G. ADJOURNMENT

Menasha is committed to its diverse population. Our Non-English speaking population or those with disabilities are invited to contact the Community Development Department at 967-3650 at least 24-hours in advance of the meeting so special accommodations can be made.

CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
October 29, 2013
DRAFT MINUTES

A. CALL TO ORDER

The meeting was called to order at 3:30 PM by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, DPW Radtke and Commissioners Cruickshank, Sturm, DeCoster and Schmidt.

PLAN COMMISSION MEMBERS EXCUSED: Ald. Benner

PLAN COMMISSION MEMBERS ABSENT: None

OTHERS PRESENT: CDD Keil, PP Homan, Rick Fischer (Fischer & Associates), Tim Lehrer (Building Creations), and Tonni Larson (Kim Central Credit Union)

C. MINUTES TO APPROVE

1. **Minutes of the October 8, 2013 Plan Commission Meeting**

Motion by Comm. Sturm, seconded by Comm. DeCoster to approve the October 8, 2013 Plan Commission meeting minutes. The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

E. DISCUSSION

1. None.

ACTION ITEMS

1. **Extraterritorial Certified Survey Map (CSM) – 901-921 Appleton Road, Town of Menasha**
CDD Keil provided an overview of this CSM located in the Town of Menasha. The owners of the existing gas station were in the process of acquiring the property to the north, tearing down the structures for a planned expansion of the convenience center.

DPW Radtke inquired about whether any comments could be made pertaining to the existing curb cuts. CDD Keil indicated that could be communicated as a comment made to Winnebago County as part of their review process.

Motion by Comm. Sturm, seconded by Comm. DeCoster, to recommend approval of the Extraterritorial CSM at 901-921 Appleton Road, Town of Menasha.

The motion carried.

2. **Certified Survey Map (CSM) – 835 Valley Road**

PP Homan indicated that the purpose of this CSM was to facilitate the expansion of Alpha Prime and ensure the building addition met all zoning and setback requirements.

Commissioners inquired about whether the remaining lot met minimum lot standards for the I-1 zoning district. PP Homan confirmed that it did.

Motion by DPW Radtke, seconded by Comm. Cruickshank to recommend approval of the Certified Survey Map at 835 Valley Rd.

The motion carried.

3. **Site Plan Amendment – 835 Valley Road – Alpha Prime, Inc.**

PP Homan provided an overview of the proposed addition to Alpha Prime, and discussed proposed site improvements, and where certain items were lacking.

A general discussion occurred on the following items:

- The provision of additional landscaping to screen the parking lot from the road, as originally required in the 1996 site plan
- The need for all stormwater to be dealt with on site
- The current state of naturalized vegetation on the site
- The lack of landscaping at the base of the building that is visible from the road, as was required in the site plan amendment approved in 1996
- The proposed building materials and colors
- Planned changes to lighting location and fixtures
- The current condition of the right of way and the need for improperly placed gravel within the right of way to be restored to a grassy state

Motion by Comm. Sturm, seconded by Comm. Cruikshank, to recommend approval of the Site Plan Amendment for Alpha Prime, Inc, 835 Valley Road, with the following conditions:

- Approval and recording of the proposed CSM at 835 Valley Road
- Foundation plantings to be provided at the north face of the 1996 building addition
- Final Drainage/Stormwater Plan to be submitted for review and approval by Public Works Staff; all stormwater must be dealt with on the parcel where the addition is located.
- Grass to be restored in the Right of Way up to the road base, where the parking lot driveway entrance had been improperly extended.
- Final lighting plan to be submitted for review and approval by Community Development Staff.
- Existing Trees and Shrubs in front of the proposed addition to be maintained.

The motion carried.

G. ADJOURNMENT

Motion by Comm. DeCoster, seconded by DPW Radtke to adjourn at 4:05 p.m. The motion carried.

Minutes respectfully submitted by PP Homan.

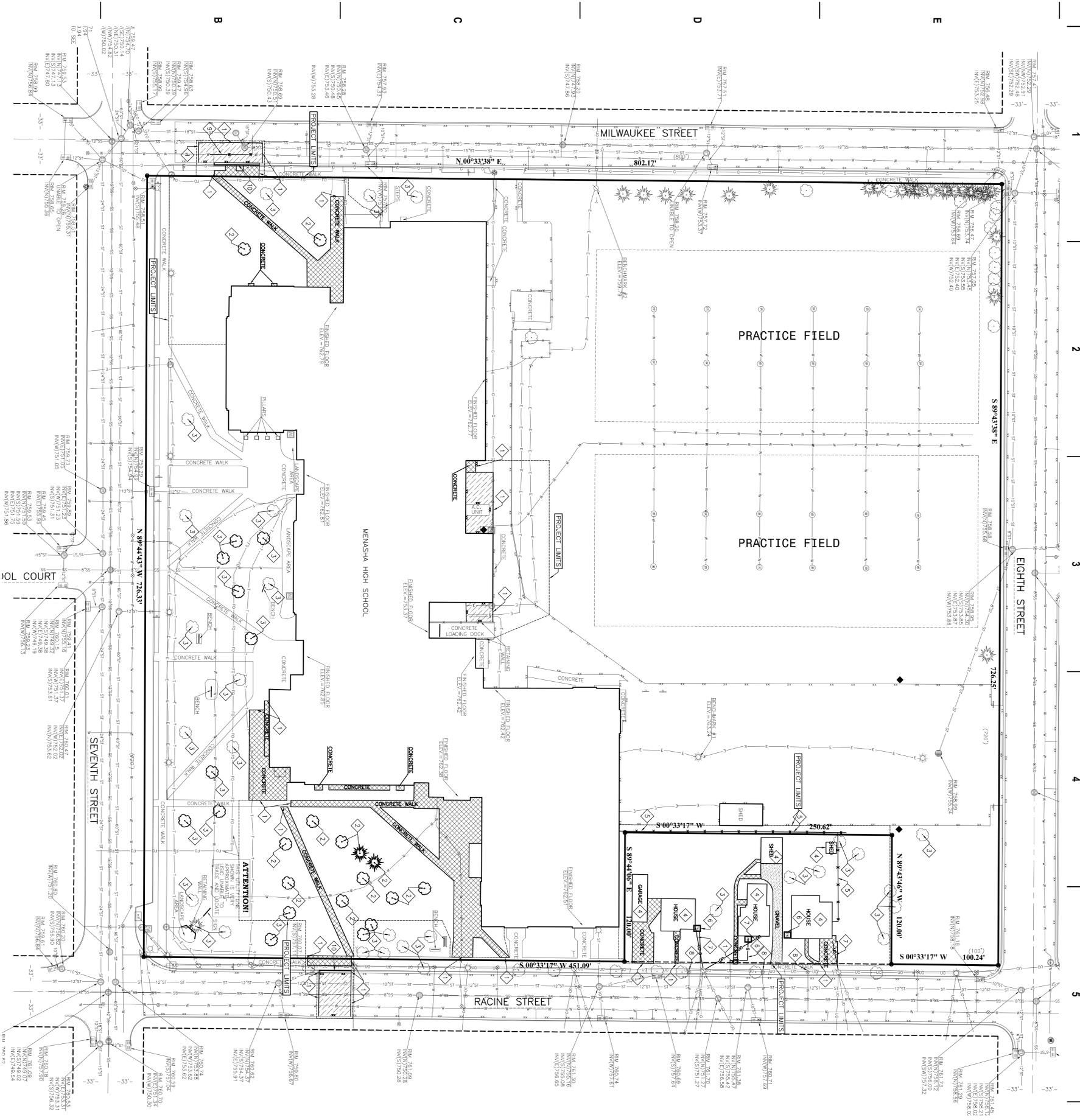




eu:a

eppstein uhen : architects

Interior view of new science addition looking back to the original gym - image provided by Eppstein Uhen Architects.



KEYNOTES:
1 SAWCUT EXISTING PAVEMENT
2 CLEAR AND GRUB EXISTING TREE
3 SAFE AND PROTECT EXISTING TREE
4 DEMOLISH/REMOVE EXISTING STRUCTURE
5 DEMOLISH/REMOVE EXISTING FENCE
6 COORDINATE WITH GAS UTILITY TO REMOVE EXISTING SERVICE
7 COORDINATE WITH ELECTRIC UTILITY TO REMOVE EXISTING SERVICE
8 COORDINATE WITH MUNICIPALITY TO ABANDON EXISTING WATER AND SANITARY SEWER SERVICE
9 REMOVE EXISTING DUCTILE IRON PIPE
10 REMOVE EXISTING CONCRETE CURB & GUTTER

DEMOLITION HATCH PATTERNS:
GRAVEL REMOVAL
CONCRETE REMOVAL
ASPHALT REMOVAL

LEGEND
These standard symbols will be used in the drawing
SAW CUT FOR CONSTRUCTION DOCS
SAFETY FOR CONSTRUCTION DOCS
WATER FOR CONSTRUCTION DOCS
ELECTRIC FOR CONSTRUCTION DOCS
GAS FOR CONSTRUCTION DOCS
SANITARY SEWER
OVERHEAD UTILITIES
BURIED ELECTRIC
BURIED GAS
BURIED TELEPHONE
WETLAND
FENCE LINE
ELECTRIC MANSUET
CONCRETE LINE
RECTANGULAR CATCH BASIN
CIRCULAR CATCH BASIN
SOIL BORING
IRRIGATION HEAD
CLEAN OUT
ELECTRIC WATER
ELECTRIC TRANSFORMER
GAS WATER
GAS VALVE
GUARD POST
DIAM. PIPE
HOIST
UPRIPOLE
PERMITS
SANITARY MANHOLE
SOIL
STORM MANHOLE
TELEPHONE PERSONAL
TERRAC SIGNAL
WATER MANHOLE
WATER VALVE
TREE
LINE TREE
COMPUTED CORNER
RECORDED AS

GENERAL NOTES:
1. CONTRACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR REPAIRS TO BE SALVAGED, WHICH SHOULD BE IDENTIFIED OVER TO THE OWNER.
3. ALL DEMOLITION/CONSTRUCTION SHALL BE UNDER THE CLOSE SUPERVISION AND CONTROL OF THE CONTRACTOR.
4. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. CONDITIONS WITHIN THE PROJECT LIMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND REINSTALLED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND INCLUDED IN THE BID CONTRACT.
7. STOCKPILE STRIPPED TOPSOIL ON SITE. PLACE SILT FENCE AROUND THE BASE OF THE STOCKPILE TO PREVENT EROSION.
8. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WITH THE LOCAL MUNICIPALITY.
9. THE CONTRACTOR SHALL KEEP ALL CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE OUTSIDE WITHIN THE PROJECT LIMITS.
10. ALL CONCRETE SAWCUTS SHALL BE FULL DEPTH AT NEAREST JOINT.

ISSUANCE AND REVISIONS

DESIGN PROGRESS

PROJECT INFORMATION

MENASHA HIGH SCHOOL

420 Seventh Street
Menasha, WI 54952

REVISIONS

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS

PROJECT NUMBER: 310285
DATE: 10-24-13

PROGRESS DOCUMENTS

PROJECT MANAGER: MLB
DATE: 10-24-13

DEMOLITION PLAN

C100

epstein urban : orchi

222 West Washington Ave, Suite 650
Milwaukee, Wisconsin 53202
Tel: 414.271.5050 Fax: 414.271.7194
www.epsteinurban.com

UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART ON THE BASIS OF INFORMATION COMPILED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN RESULTED FROM THIS INFORMATION. LOCATIONS ARE APPROXIMATE. PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON THIS PLAN. CONTACT DIGGERS HOTLINE FOR LOCATIONS AND LOCATIONS.

BENCHMARK

BENCHMARK #1 - LIGHT POLE BASE, LOCATED IN THE MAIN COURTYARD OF THE HIGH SCHOOL AND BEING APPROXIMATELY 753.24' ELEVATION.

BENCHMARK #2 - CONCRETE CURB, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 753.24' ELEVATION.

BENCHMARK #3 - BURN PILE ON HIGHLAND, LOCATED IN THE NORTHEAST CORNER OF THE LOT AND BEING APPROXIMATELY 753.12' ELEVATION.

DESCRIPTION

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND PART OF LOTS 5, 6 AND 7, ALL IN REED'S FIRST 15 TOWNSHIP 20 NORTH, RANGE 77 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

Scale 1"=40'

Legend

Legend symbols for sawcut, clear and grub, safe and protect, demolish, coordinate with utility, coordinate with municipality, remove existing, gravel removal, concrete removal, asphalt removal.

Legend

Legend symbols for standard symbols used in the drawing: saw cut, safety, water, electric, gas, sanitary sewer, overhead utilities, buried electric, buried gas, buried telephone, wetland, fence line, electric manhole, concrete line, rectangular catch basin, circular catch basin, soil boring, irrigation head, clean out, electric water, electric transformer, gas water, gas valve, guard post, diam. pipe, hoist, upriopole, permits, sanitary manhole, soil, storm manhole, telephone personal, terrac signal, water manhole, water valve, tree, line tree, computed corner, recorded as.



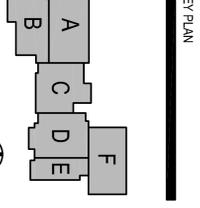
epstein uhen : orchtacts
 13133 Tenthon Street
 Milwaukee, Wisconsin 53202
 Tel: 414 271 5050 Fax: 414 271 7794
 Milwaukee
 222 West Washington Ave. Suite 650
 Milwaukee, WI 53233
 Tel: 414 223 5200 Fax: 414 223 6880

PROJECT INFORMATION
MENASHA HIGH SCHOOL
 420 Seventh Street
 Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS

#	DATE	DESCRIPTION



SHEET INFORMATION

PROGRESS DOCUMENTS

This document, including drawings and specifications, shall be held in confidence and shall not be used for any other project without the written consent of the architect.

PROJECT MANAGER
 MLB

PROJECT NUMBER
 310285

DATE
 10-24-13

LAYOUT PLAN

C101

LEGEND

These standard symbols will be used in this drawing.

	SANITARY SEWER CONSTRUCTION DOCKS
	WATER SEWER CONSTRUCTION DOCKS
	ELECTRIC FIRE CONSTRUCTION DOCKS
	GAS FIRE CONSTRUCTION DOCKS
	SANITARY SEWER
	WATER SEWER
	OVERHEAD ELECTRIC
	BURIED ELECTRIC
	BURIED GAS
	BURIED TELEPHONE
	WATERMAN
	FIREMAN
	FACE LINE
	EASEMENT
	CONTOUR LINE
	RECTANGULAR CATCH BASIN
	CIRCULAR CATCH BASIN
	SOIL BORING
	IRRIGATION HEAD
	CLEAN OUT
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	GAS METER
	GAS VALVE
	GUARD POST
	GUY WIRE
	HORIZONTAL MANHOLE
	VERTICAL MANHOLE
	SANITARY MANHOLE
	SOIL
	STORM MANHOLE
	TELEPHONE MANHOLE
	TRAFFIC SIGNAL
	WATER MANHOLE
	WATER VALVE
	TREE
	FINE TREE
	COMPACTED CORNER
	COMPACTED AREA

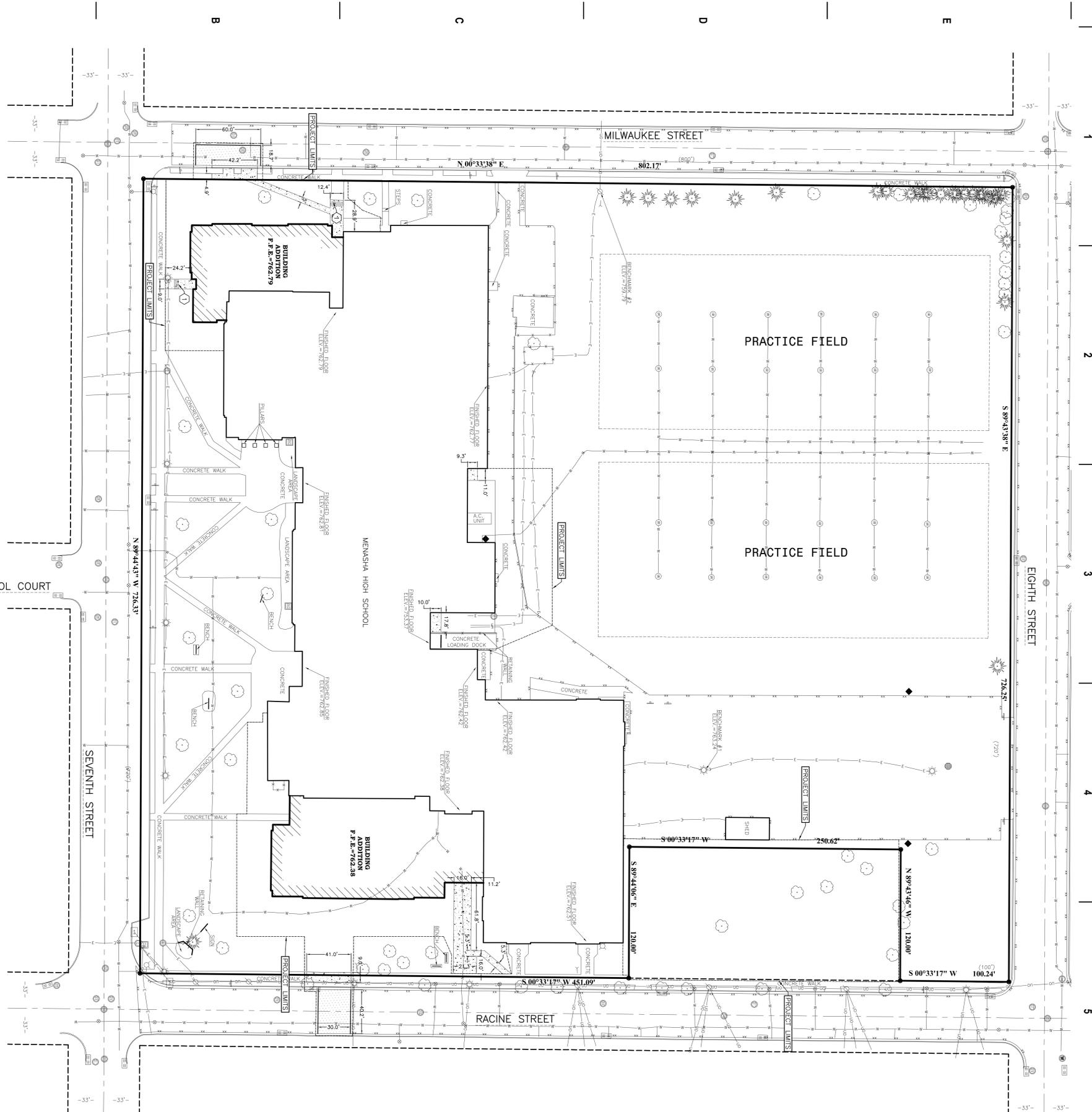
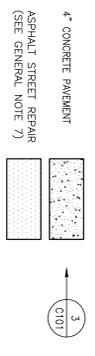
GENERAL NOTES:

1. SET SHEET C101 FOR ALL REQUIRED EROSION CONTROL FEATURES.
2. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE PROJECT RECORD DRAWINGS AND ALL LOCAL ORDINANCES THAT APPLY TO THE PROJECT. BIDDERS SHALL VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
4. REQUIRED PERMITS HAVE BEEN ACQUIRED.
5. CORNERED CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
6. GUTTER AND GUTTER RADIIUS DIMENSIONS ARE TO THE FLOWLINE OF CURB AND ASPHALT STREET REPAIR SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MENASHA STANDARD SPECIFICATIONS.

KEYNOTES:

1. CONCRETE STRIPS
2. 30" CURB & GUTTER
3. 4" CONCRETE PAVEMENT
4. ASPHALT STREET REPAIR

PAVEMENT HATCH PATTERNS:



UNDERGROUND UTILITIES

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UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. LOCATIONS ARE APPROXIMATE AND NOT SHOWN TO SCALE. CONTACT DODGERS HOLDING FOR LOCATIONS, FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.

BENCH MARK

ELEVATIONS ARE REFERENCED TO WADSWORTH DATUM.

BENCHMARK #1
 AN IRON PIPE BENCH MARK, LOCATED IN THE MAIN ENTRANCE OF THE HIGH SCHOOL, AND BEING THE HIGH POINT OF THE SITE. ELEVATION = 753.24.

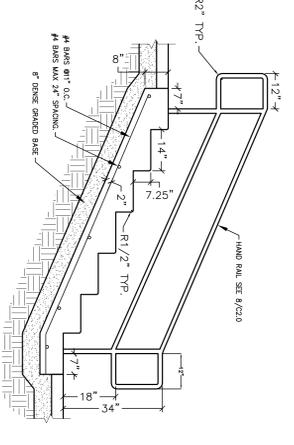
BENCHMARK #2
 A CONCRETE BENCH MARK, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 400 FEET FROM THE HIGH SCHOOL. ELEVATION = 753.23.

BENCHMARK #3
 A BARY BRONZ ON IRON ANGLE, LOCATED IN THE NORTHEAST CORNER OF THE HIGH SCHOOL. ELEVATION = 753.12.

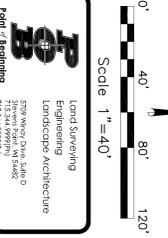
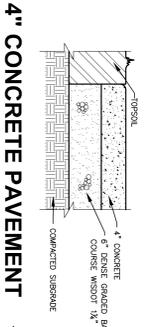
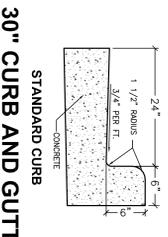
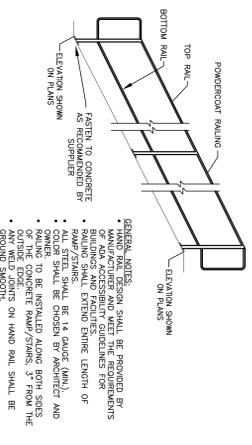
DESCRIPTION

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND 17 OF LOTS 5, 6 AND 7, ALL IN REED'S FIRST TOWNSHIP 20 NORTH, RANGE 77 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.

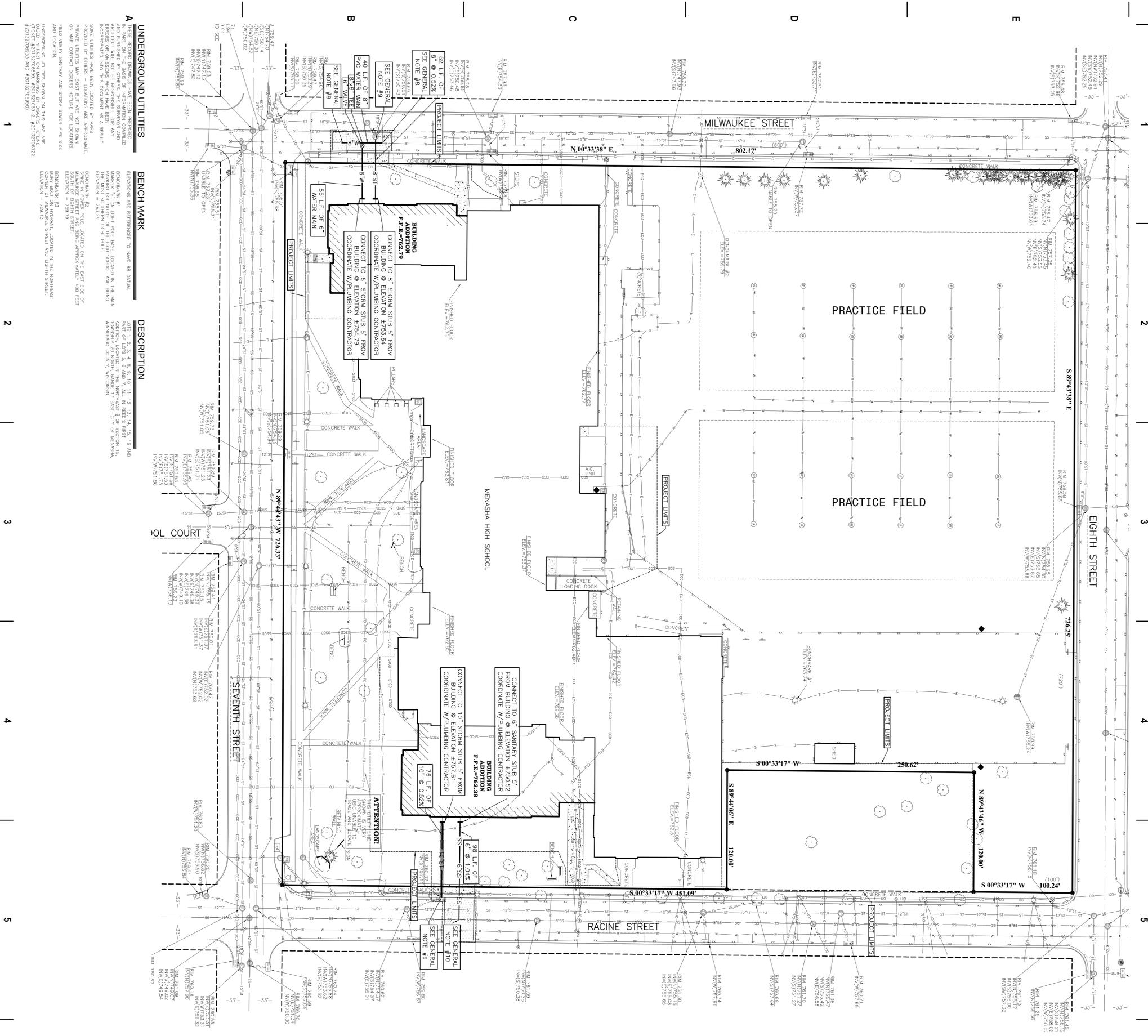
EXTERIOR STAIRS



EXTERIOR HANDRAIL



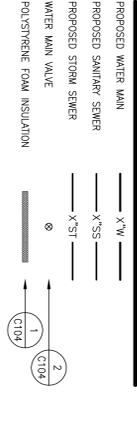
FOB
 FORD BROS. & CO.
 1001 W. WISCONSIN ST.
 MILWAUKEE, WI 53233
 TEL: 414 223 5200



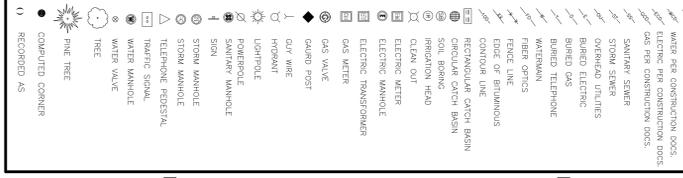
GENERAL NOTES:

1. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS OF WATER AND SANITARY SEWER CONNECTIONS.
3. ALL UTILITY WORK WITH GAS, ELECTRICAL, INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNALS, CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
4. MEMNSHA.
5. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES ADMINISTRATIVE CODE.
6. THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-0" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES. SEE SHEET C102 FOR PROPOSED GRADES. AT CROSSINGS, THE PROPOSED WATER MAIN SHALL BE DETAIL 3/10/14.
7. BEFORE INSTALLING UTILITIES FIELD VERIFY LOCATION, SIZE, AND ELEVATION OF ALL WATER, SANITARY SEWER, AND STORM SEWER CONNECTIONS TO EXISTING.
8. CONTRACTOR SHALL COORDINATE WATER SERVICE CONNECTION TO EXISTING WATERMAIN WITH THE CITY OF MEMNSHA.
9. UTILITY CONTRACTOR SHALL COORDINATE CONNECTION OF STORM SEWER TO EXISTING STORM SEWER MAIN WITH THE CITY OF MEMNSHA. CONTRACTOR SHALL OPENING IN EXISTING STORM SEWER STRUCTURE AND GROUT AROUND PROPOSED STORM SEWER PIPES FOR WATERIGHT CONNECTION. UTILITY CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING STORM SEWER MAIN, CURB AND GUTTER ON STREET AT NO ADDITIONAL COST TO OWNER.
10. CONTRACTOR SHALL CONNECT PROPOSED SANITARY SEWER SERVICE TO EXISTING 8" MAIN WITH 6" SADDLE. PROPOSED CONNECTION SHALL BE COBRANDED WITH THE CITY OF MEMNSHA.

UTILITY LEGEND:



LEGEND:



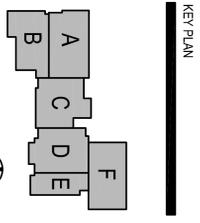
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 www.ewo.com
 Milwaukee Tel: 414.271.5500 Fax: 414.271.7194

PROJECT INFORMATION
MENASHA HIGH SCHOOL
 420 Seventh Street
 Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS

#	DATE	DESCRIPTION



SHEET INFORMATION

PROGRESS DOCUMENTS
 This document is a progress document and should not be used for final construction documents and should not be used for final bidding or construction purposes.
PROJECT MANAGER MLB
PROJECT NUMBER 310285
DATE 10-24-13
UTILITY PLAN
C104

UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED IN PART ON THE BASIS OF INFORMATION COMPILED BY THE ENGINEER AND HIS FIELD PERSONNEL. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN RESULT. SOME UTILITIES HAVE BEEN LOCATED BY WAYS PROVIDED BY OTHERS - LOCATIONS ARE APPROXIMATE. FRONT UTILITIES MAY EXIST BUT ARE NOT SHOWN ON THIS CONCEPT DESIGN. LOCATIONS FOR LOCATIONS FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.
 UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. PROJECT #20132708999, #20132708972, #20132708922, #20132708933 AND #20132708950.

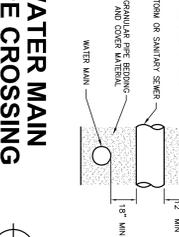
BENCH MARK

ELEVATIONS ARE REFERENCED TO WAD 88 DATUM.
BENCHMARK #1
 AN IRON PIPE BENCH MARK, LOCATED IN THE MAIN TOWNSHIP 30 NORTH, RANGE 77 WEST, CITY OF MEMNSHA, WISCONSIN. ELEVATION = 753.24.
BENCHMARK #2
 A CONCRETE BENCH MARK, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 400 FEET NORTH OF THE INTERSECTION OF MILWAUKEE STREET AND SEVENTH STREET. ELEVATION = 759.12.
BENCHMARK #3
 A BARY BRONZ ON IRONDALE LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF MILWAUKEE STREET AND EIGHTH STREET. ELEVATION = 759.12.

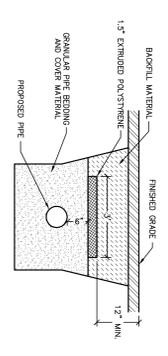
DESCRIPTION

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND 17 OF LOTS 5, 6 AND 7, ALL IN REED'S FIRST SUBDIVISION, TOWNSHIP 30 NORTH, RANGE 77 WEST, CITY OF MEMNSHA, WISCONSIN.

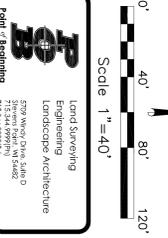
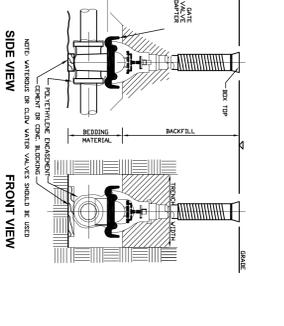
WATER MAIN PIPE CROSSING



POLYSTYRENE FOAM INSULATION



WATER VALVE



Legend:
 These standard symbols will be used in the drawings:
 SANITARY SEWER CONSTRUCTION DOCS
 WATER MAIN CONSTRUCTION DOCS
 STORM SEWER CONSTRUCTION DOCS
 GAS PIPE CONSTRUCTION DOCS
 ELECTRICAL PER CONSTRUCTION DOCS
 SANITARY SEWER
 OVERHEAD UTILITIES
 BURIED UTILITIES
 BURIED GAS
 BURIED TELEPHONE
 WATERMAIN
 FIBER OPTICS
 POWER LINES
 TELEPHONE LINES
 REINFORCED CONCRETE
 CIRCULAR CATCH BASIN
 SOIL BORING
 IRRIGATION HEAD
 CLEAN OUT
 ELECTRIC WATER
 ELECTRIC WASTE
 ELECTRIC TRANSMISSION
 GAS WATER
 GAS VALVE
 GROUND POST
 GUY WIRE
 HORIZONTAL
 UPRIGHT
 PORTLAND CEMENT
 SANITARY MANHOLE
 STORM MANHOLE
 TELEPHONE MANHOLE
 TRAFFIC SIGNAL
 WATER MANHOLE
 WATER VALVE
 TREE
 PINE TREE
 COMPUTED CORNER
 RECORDED AS

ARTICLE E

Traffic Visibility, Loading, Parking and Access

SEC. 13-1-50 LOADING REQUIREMENTS.

- (a) **LOADING SPACE REQUIREMENTS.** On every lot on which a business, trade or industrial use is hereafter established, space with access to a public street or alley shall be provided as indicated below for the loading and unloading of vehicles off of the public right-of-way:

<u>Use</u>	<u>Floor Area (sq. ft.)</u>	<u>Loading Space</u>
Retail, wholesale	2,000 - 10,000	1
warehouse, service	10,000 - 20,000	2
manufacturing, and	20,000 - 40,000	3
industrial establishments	40,000 - 60,000	4
	Each additional 50,000	1
Hotels, offices,	5,000 - 10,000	1
hospitals, places of	10,000 - 50,000	2
public assembly	50,000 - 100,000	3
	Each additional 25,000	1
Funeral homes	2,500 - 4,000	1
	4,000 - 6,000	2
	Each additional 10,000	1

- (b) **MULTIPLE OR MIXED USES.** Where a building is devoted to more than one (1) use or for different uses and where the floor area for each use is below the minimum required for a loading space but the aggregate floor area of such uses is above such a minimum, then off-street loading space shall be provided as if the entire building were devoted to that use in the building for which the most loading spaces are required.
- (c) **LOCATION.** Required off-street loading spaces shall be located on the same lot with the principal use requiring such space. Ordinarily, no loading dock or overhead doors shall face a public street. No loading space shall be located within thirty (30) feet of the nearest point of intersection of two (2) streets or require any vehicle to back into a public street. Loading spaces shall not be positioned such that vehicles parked in the loading spaces block public right-of-way.
- (d) **DESIGN STANDARDS.** Each off-street loading space shall have a width of at least twelve (12) feet, a length of at least forty-five (45) feet, and a vertical clearance of at least fourteen (14) feet. Dimensions for loading spaces in connection with funeral homes shall be reduced to ten (10) feet in width, twenty-five (25) feet in length, and eight (8) feet in vertical clearance. Every loading space shall be sufficiently screened in the form of a solid fence or shrubbery to protect neighboring residences.

SEC. 13-1-51 OFF-STREET PARKING.

- (a) **INTENT.** It is the purpose of this Section to provide standards that insure adequate parking areas in conjunction with the various uses permitted in this Code. This is accomplished by

encouraging effectively developed parking areas which will provide sufficient quantities of parking spaces and ample area for automotive maneuvering.

- (b) **DISTRICT REGULATIONS.** The following regulations shall be applied to each of the described zoning districts:

(1) R-1, R-1A, R-2 and R-2 A Districts.

- a. No tractors, tractor-trailers, semi-trailers, school buses, farm tractors in excess of six (6) feet in width, dump trucks, construction equipment, auto wreckers or road machinery shall be kept or parked on any lot, whether or not they are enclosed in buildings, except for the purposes of servicing the premises.
- b. No motor vehicle, utility trailer, boat, snowmobile, motor home or trailers used to transfer any of the above shall be parked or stored in the front setback area, except upon a driveway providing access to a garage, carport or rear yard parking area. Any vehicle parked within the front yard shall have all wheels on the driveway surface. In no case shall a driveway be widened to extend in front of the dwelling unit within the front setback.
- c. No self-propelled or towed vehicles of eight (8) tons or more gross weight shall be allowed.
- d. No parking shall be allowed in the vision clearance area.
- e. All driveways, parking areas, and driveway aprons constructed after July 1, 2011 shall be surfaced with asphalt, concrete, brick, or other durable dust-free material acceptable to the Department of Public Works. Driveways and parking areas shall be installed in compliance with the minimum standards set forth in the City of Menasha Driveway Installation Policy as approved by the Common Council. This requirement shall not apply to parking areas utilized solely for storage of recreational vehicles in compliance with Sec. 13-1-52.
- f. On parcels with newly constructed one and two family residential structures, such surfacing shall be completed within nine (9) months of receiving an occupancy permit for the dwelling unit(s). Driveway aprons shall be paved within nine (9) months of installation of the permanent street.
- g. *On parcels with existing one and two family residential structures, upon which a permit has been issued for a new garage, such surfacing shall be completed within twelve (12) months of permit issuance. Driveway aprons shall be paved within nine (9) nine months of installation of the permanent street.*
- h. A Driveway Permit from the Department of Community Development and a Grade Request from the Department of Public Works shall be obtained prior to installation of any driveway, driveway extension, or parking area. Permit applications shall include a site plan drawn to scale showing the location and dimensions of the driveway in relation to all property lines, structures, service walks, sidewalks, and street rights of way along with specifications showing proposed materials and cross sectional dimensions.
- i. An Excavation Permit from the Department of Public Works shall be required prior to installation of any driveway apron per Sec. 6-2-3.

(2) R-3, R-4, C-1, C-2, C-3, C-4, I-1 and I-2 and GU Districts.

- a. *General Parking Standards*
 1. All driveways, parking areas, and driveway aprons shall be surfaced with asphalt, concrete, brick, or other durable dust-free material acceptable to the Department of Public Works in compliance with the minimum standards set forth in this Section *except that the*

standards of Section 13-1-51(b) shall apply to existing and new one and two family structures.

- (a) For new driveways, parking areas, and driveway aprons, such surfacing shall be completed prior to an occupancy permit being granted for the principal use, or, if conditions are not conducive to paving, in accordance with a timeline established in the Site Improvement Agreement on file with the Community Development Department. Driveway aprons shall be paved within nine (9) months of installation of the permanent street. If a site plan review is not required, a parking lot plan shall be submitted and approved in accordance with Sec. 13-1-51(b)(2)b prior to surfacing.
 - (b) For properties with existing driveways, parking areas, and driveway aprons that are not surfaced with a durable dust-free material, such surfacing shall be completed prior to the sale of the property or within nine (9) months of sale of the property or, when applicable, in accordance with the timeline established in the Site Improvement Agreement on file with the Community Development Department. For properties without an approved site plan and/or Site Improvement Agreement, a parking lot plan shall be submitted in accordance with Sec. 13-1-51(b)(2)b prior to surfacing. Areas to be surfaced shall comply with all applicable zoning requirements.
2. Parking spaces shall be in conformance with the required district setback regulations;
 3. No parking shall be allowed in the vision clearance area;
 4. A minimum six (6) inch curb wall shall be constructed in the following parking lot areas:
 - (a) The edge of a parking lot or driving areas adjacent to a building or pedestrian path, except for areas where access ramps have been designed;
 - (b) Planting areas or islands within the parking lots;
 - (c) Other areas where deemed appropriate by the Plan Commission including driveways or portions of driveways.
 5. Any lights used to illuminate a parking area shall be so arranged and screened according to the requirements of Section 13-1-12 (h);
 6. General off-street parking and driveways shall be arranged so that no vehicle shall be required to back onto a public street or primary circulation route.
 7. Required parking spaces shall be adequately marked;
 8. No addition or enlargement of an existing building or use shall be permitted unless all parking requirements are met for the entire building or use;
 9. All required parking spaces shall be located on the lot which the use is located or on a contiguous lot. Parking within three hundred (300) feet from the principal use or building may be permitted on existing developed sites where a parking plan and an easement and maintenance agreement and/or lease agreement are submitted, subject to approval by the Department of Community Development. Shared parking and/or ingress/egress on a contiguous lot or within 300 feet from the principal use or building may be permitted for new developments through the site plan review process. In conjunction

City of Menasha Driveway Installation Policy

1. This Driveway Installation Policy has been adopted by the Common Council as a supplement to Section 13-1-51(b)(1) of the Municipal Code and applies to R-1, R-1A, R-2, and R-2A zoning districts. It is intended to assist with interpretation and application of the section but may not cover all situations encountered.
2. A Driveway Permit and Zoning Permit from the Building Inspection Office and a Grade Request from the Department of Public Works shall be obtained prior to installation of any driveway, driveway extension, or parking area. Permit applications shall include a site plan drawn to scale showing the location and dimensions of the driveway or parking area in relation to all property lines, structures, service walks, sidewalks, and street rights of way along with specifications showing the proposed materials and cross sectional dimensions.
3. The following standards shall apply:
 - a. All driveways, driveway extensions, parking areas, and driveway aprons constructed after July 1, 2011 shall be surfaced ("paved") with a durable dust-free material acceptable to the Department of Public Works. Alternative materials shall be approved prior to installation by the Director of Public Works as part of the Driveway Permit application. This paving requirement shall not apply to parking areas utilized solely for storage of recreational vehicles in compliance with Sec. 13-1-52.
 - b. Approved paving materials include concrete, asphalt, brick, and similar durable, dust free materials acceptable to the Department of Public Works. Durable, dust free pervious paving materials specifically designed to reduce stormwater runoff are encouraged and may be utilized upon approval by the Director of Public Works.
 - c. The minimum width of any paved driveway or parking area shall be nine (9) feet. The maximum width of any paved driveway or parking area shall be 32 feet where the driveway abuts the public right of way (e.g. the apron). If a property does not have a garage, carport, or rear yard parking area, the property owner shall be required to have a minimum area of 320 square feet of paved area per dwelling unit. The minimum paved area shall be adjacent to the driveway apron.
 - d. The following minimum installation standards shall apply:
 - Concrete shall be finished to a minimum thickness of 4" and installed on a minimum 4" base of ¾" crushed aggregate;
 - Asphalt shall be finished to a minimum thickness of 2 ½" and installed on a minimum 6" base of ¾" crushed aggregate;

- Paving bricks shall be no less than 2 ¼" thick and installed on a minimum 4" base of approved granular material.
 - Similar durable, dust-free materials approved by the Department of Public Works shall be installed in a manner that is consistent with professional installation standards.
- e. The following restrictions apply to the front yard area:
- In no case shall a driveway or parking area be widened to extend in front of the dwelling for parking or driving purposes.
 - Paved pedestrian walkways in the front yard that are immediately adjacent to a driveway and lead to an entry or service door may be approved by the Zoning Administrator and/or designee at the time of permit application. Such walkways may not be utilized for parking or driving purposes.
 - Pavers and similar decorative surfaces installed in the front yard as landscaping or aesthetic amenities shall not be used for parking or driving purposes.
4. Any other areas beyond the minimum requirements that are used for parking or driving purposes must either be paved according to the standards above or converted back to a grass/lawn surface by completely removing any gravel or non-conforming driveway surface and installing a minimum of 2" of topsoil prior to seeding.
5. If a driveway is to be completely removed, the driveway apron shall also be completely removed and the area restored to grass/lawn area as stated above and the full curb section reinstalled. Replacing the curb requires an Excavation Permit and must be performed in accordance with City specifications.
6. Repairs to existing hard surfaced driveways shall be made with materials of the same type as the existing hard surface unless the entire driveway is being replaced.
7. Extent of Surfacing Requirements:
- a. All driveway aprons shall be paved in accordance with City specifications.
 - b. When a garage is present, the entire length of driveway from the street right of way to the face of the garage must be paved.
 - c. When a carport is present, the entire length of the driveway from the street right of way along with the base of the carport must be paved.
 - d. When no garage or carport is present, any portion of the driveway or parking area that falls within the front and/or side yards of the property and any portion leading to and including a rear parking area must be paved.
 - e. On properties with existing unique physical or structural characteristics that are not addressed herein, the Zoning Administrator and/or designee shall make the final determination regarding the extent of required surfacing.

From: Jessica Schultz [mailto:newsc@newsc.org]
Sent: Wednesday, October 30, 2013 8:49 AM
To: Greg M. Keil
Cc: Kara Homan; Mark Radtke
Subject: FW: Drainage Easement Sizing/Setbacks

Hi Greg,

Please see the note from Nick Vande Hey below regarding standards for drainage easements.

Your question – is there guidance for all things drainage easements? Was the question that spurred the need for the drainage easement workshop that NEWSC held in Spring. Hoping to come out with some concrete information to share, the workshop reaffirmed for many that every municipality and possibly every situation is different.

There is a Municipal Committee meeting this afternoon. I will bring your question to committee and let you know if anyone can give you more information!

Jessica Schultz

Director

Northeast Wisconsin Stormwater Consortium

PO Box 1861, Appleton, WI 54912

920.858.4246

Visit us online!

NEWSC.org

Find out how YOU can protect our waters!

RenewOurWaters.org

From: Nick Vande Hey [mailto:NVandehey@mcmgrp.com]

Sent: Tuesday, October 29, 2013 4:46 PM

To: Jessica Schultz

Subject: RE: Drainage Easement Sizing/Setbacks

Jess,

I am not aware of any minimum easement width standards. From an engineering / construction perspective, it is desirable to provide adequate easement width to accommodate future construction, operation, and maintenance equipment.

From a flood hazard or safety perspective, a few analogies can be drawn from other regulations. For example, Wis. Admin. Code NR 116 requires that the finished grade around a building be a minimum 1 foot higher than the anticipated 100-year water surface elevation. The 1 foot elevation needs to extend a minimum 15 feet beyond the building's perimeter. As such, one could suggest that the 100-year water surface within a significant drainage ditch needs to be located at least 15 feet from a building perimeter.

Wis. Admin. Code SPS 321.12 requires that the finished grade of the soil shall slope away from a residential dwelling at a rate of at least ½-inch per foot for a minimum distance of 10 feet, or to the lot line, whichever is less.

Hope this helps. Nick

From: Jessica Schultz [<mailto:newsc@newsc.org>]
Sent: Tuesday, October 29, 2013 11:43 AM
To: Nick Vande Hey
Subject: FW: Drainage Easement Sizing/Setbacks

Hi Nick –

Do you have any information to pass or thoughts on the question below regarding guidance for drainage easements? I took away from the training we did in Spring that every municipality is different in regards to all things easements but I didn't know if you know of any standard.

Thanks!

Jess

From: Greg M. Keil [<mailto:gkeil@ci.menasha.wi.us>]
Sent: Monday, October 28, 2013 4:02 PM
To: 'Jessica Schultz'
Cc: Kara Homan; Mark Radtke
Subject: Drainage Easement Sizing/Setbacks

Hi Jessica: Are you aware of any guidance relative to the sizing of drainage easements or setbacks therefrom? More specifically, my question relates to mitigation of hazards to persons and property more so than sizing for flow conveyance. We had an issue in Menasha where a person bought a home adjacent to a drainage easement and became alarmed at the depth and velocity of flow within the drainage way during major runoff events.

Thanks for your assistance.

Greg

From: Mike Slavney [mailto:msslavney@vandewalle.com]

Sent: Tuesday, October 29, 2013 11:51 AM

To: Kara Homan

Subject: RE: Drainage Easements & Subdivision Design

Hi Kara

I have seen this same issue emerge on numerous occasions in my various client communities where I serve as the circuit-rider planner.

I think, historically, that in an effort to avoid putting these larger conveyance-ways in common area or public area, where they would be a homeowners' association or municipal responsibility, they are now ending up on private lots.

So, lately, I have been recommending they be placed on stormwater outlots, with maintenance responsibilities going to adjoining property owners, homeowners' associations or the municipality – depending upon the specifics of the development. By doing so, the channel is not on a residential property, does not contribute to a lot area, and is clearly identified as primarily for stormwater conveyance.

This approach has the potential to be uniformly-applied in terms of platting, allows for maintenance flexibility, and emphasizes the intermittent presence of significant volumes, surface areas and/or velocity.

We haven't incorporated this approach directly into a stormwater or subdivision ordinance yet, but I imagine there is or are some threshold(s) that would trigger consideration of this approach, versus an on-lot easement.

Mike

Michael Slavney, FAICP

VANDEWALLE & ASSOCIATES INC.

608.255.3988

msslavney@vandewalle.com

From: wapamembers-bounces@uwm.edu [mailto:wapamembers-bounces@uwm.edu] **On Behalf Of** Kara Homan

Sent: Tuesday, October 29, 2013 11:06 AM

To: 'wapamembers@uwm.edu'

Subject: Drainage Easements & Subdivision Design

Greetings:

Do any of you have provisions in your Subdivision Regulations pertaining to drainage easement design?

Specifically, we're interested in sample language that codifies how to mitigate hazards to persons and property more so than sizing for flow conveyance. We had an issue in Menasha where a

person bought a home adjacent to a drainage easement and became alarmed at the depth and velocity of flow within the drainage way during major runoff events and the proximity of this flow to their home/driveway.

Please forward anything you think may be helpful!

Sincerely,

Kara Homan, AICP, Principal Planner
Community Development Department
City of Menasha | 140 Main St | Menasha, WI 54952
☎ 920.967.3652 | 📠 920.967.5272
✉ khoman@ci.menasha.wi.us | 🌐 www.cityofmenasha-wi.gov
<http://www.linkedin.com/in/karahoman>

As a local governmental entity, the City of Menasha is subject to Wisconsin statutes relating to open records. Any e-mail received by anyone at the City of Menasha, as well as any e-mail sent by someone from the City of Menasha are subject to these laws. Unless otherwise exempted from the Open Records law, senders and receivers of City e-mail should presume that any e-mail is subject to release upon request.

ORDINANCE O-8-13

AN ORDINANCE AMENDING TITLE 13, CHAPTER 1 OF
THE CODE OF ORDINANCES
(Zoning – Setbacks to Drainage Easement)

Introduced by Mayor Merkes.

The Common Council of the City of Menasha does hereby ordain as follows:

SECTION 1: Repeal Title 13, Chapter 1, Article B, Sec.13-1-14 (k) of the Code of Ordinances of the City of Menasha, Wisconsin as follows:

Title 13 – Zoning

CHAPTER 1

ARTICLE B

...

SEC. 13-1-14 HEIGHT, SETBACK, AND AREA EXCEPTIONS

...

(k) ~~No principal structure or accessory structure erected after June 1, 2009 shall be placed within ten (10) feet of a dedicated drainage easement.~~

...

SECTION 2: This amending Ordinance shall take effect upon passage and publication as provided by law.

Passed and approved this day of , 2013.

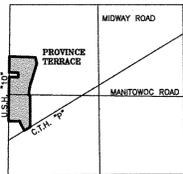
Donald Merkes, Mayor

ATTEST:

Deborah A. Galeazzi, City Clerk

DRAINAGE PLAN

LOCATION MAP
SECTION 7
T 20 N, R 18 E
CITY OF MENASHA
CALUMET COUNTY, WISCONSIN



BEARINGS ARE REFERENCED TO THE WEST
LINE OF THE NORTHWEST 1/4, SECTION 7,
RECORDED TO BEAR N 00°28'16"

DRAINAGE PLAN NOTES:

1. THIS FINAL DRAINAGE PLAN INDICATES DRAINAGE ALONG LOT LINES, MAJOR DRAINAGE SWALES AND CONCEPTUAL DRAINAGE FOR EACH LOT. THE SITE PLANNER FOR EACH INDIVIDUAL SITE SHOULD DESIGN DETAILED DRAINAGE FOR THE INTERIOR OF THE LOT BASED ON THIS INFORMATION. SUGGESTED GRADE AT FOUNDATION ELEVATIONS MAY VARY SIGNIFICANTLY DEPENDING UPON ARCHITECTURE. THE SITE PLANNER SHOULD CONSULT AN ENGINEER TO DETERMINE GRADE AT FOUNDATION ELEVATION.
2. THE PROPOSED ELEVATIONS SHOWN ON THE DRAINAGE PLANS THAT ARE ADJACENT TO ADJOINING PROPERTIES MAY VARY FROM 5' TO 10' FROM THE PROPERTY CORNERS.
3. THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
4. THE LOCATION OF EXISTING UTILITIES FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
5. INDIVIDUAL LOTS SHALL CAPTURE STORMWATER WITHIN THEIR OWN BOUNDARIES. NO STORMWATER SHALL DISCHARGE INTO ADJOINING PROPERTIES WITHOUT A DRAINAGE EASEMENT.
6. FILLING WITHIN THE 100-YEAR FLOOD PLAN IS STRICTLY PROHIBITED.

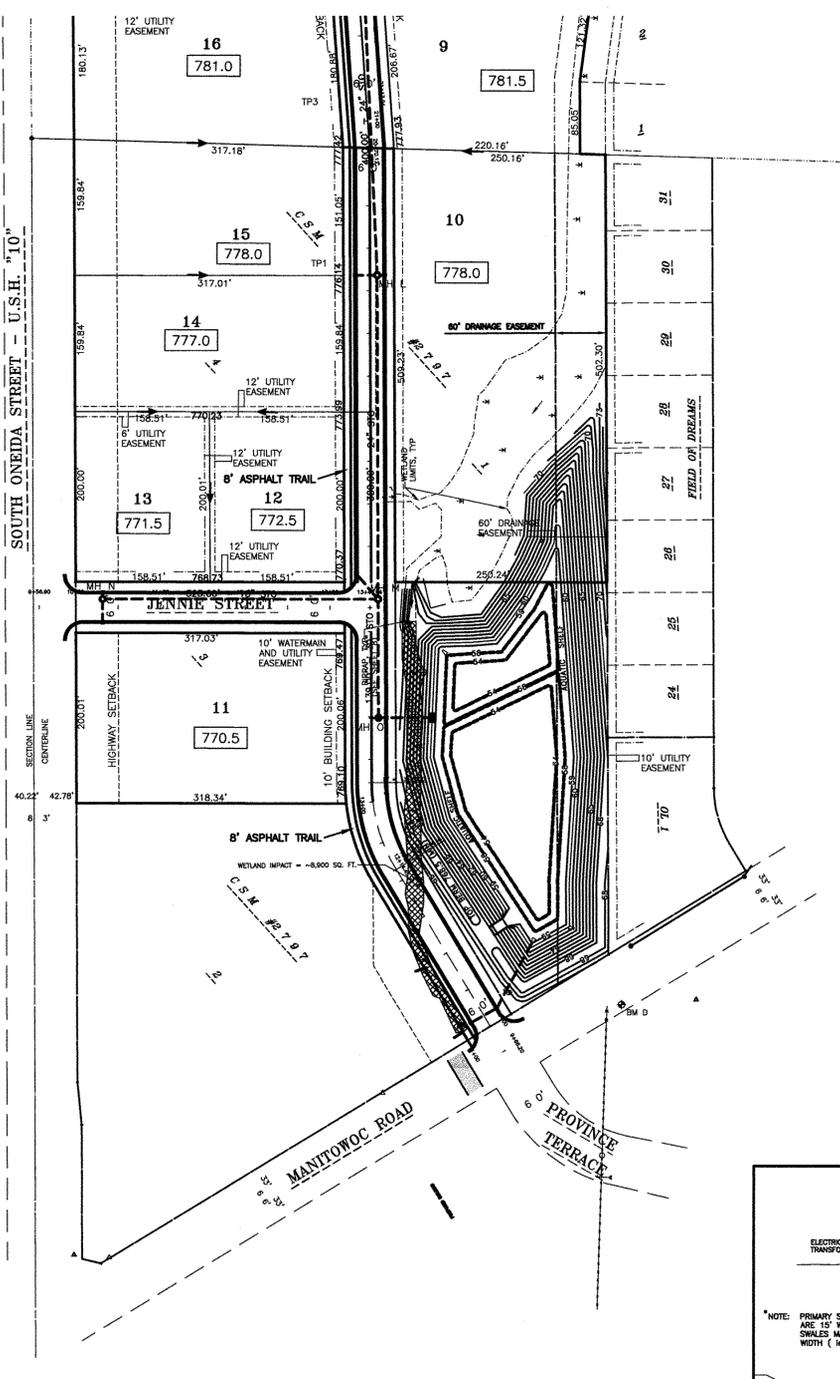
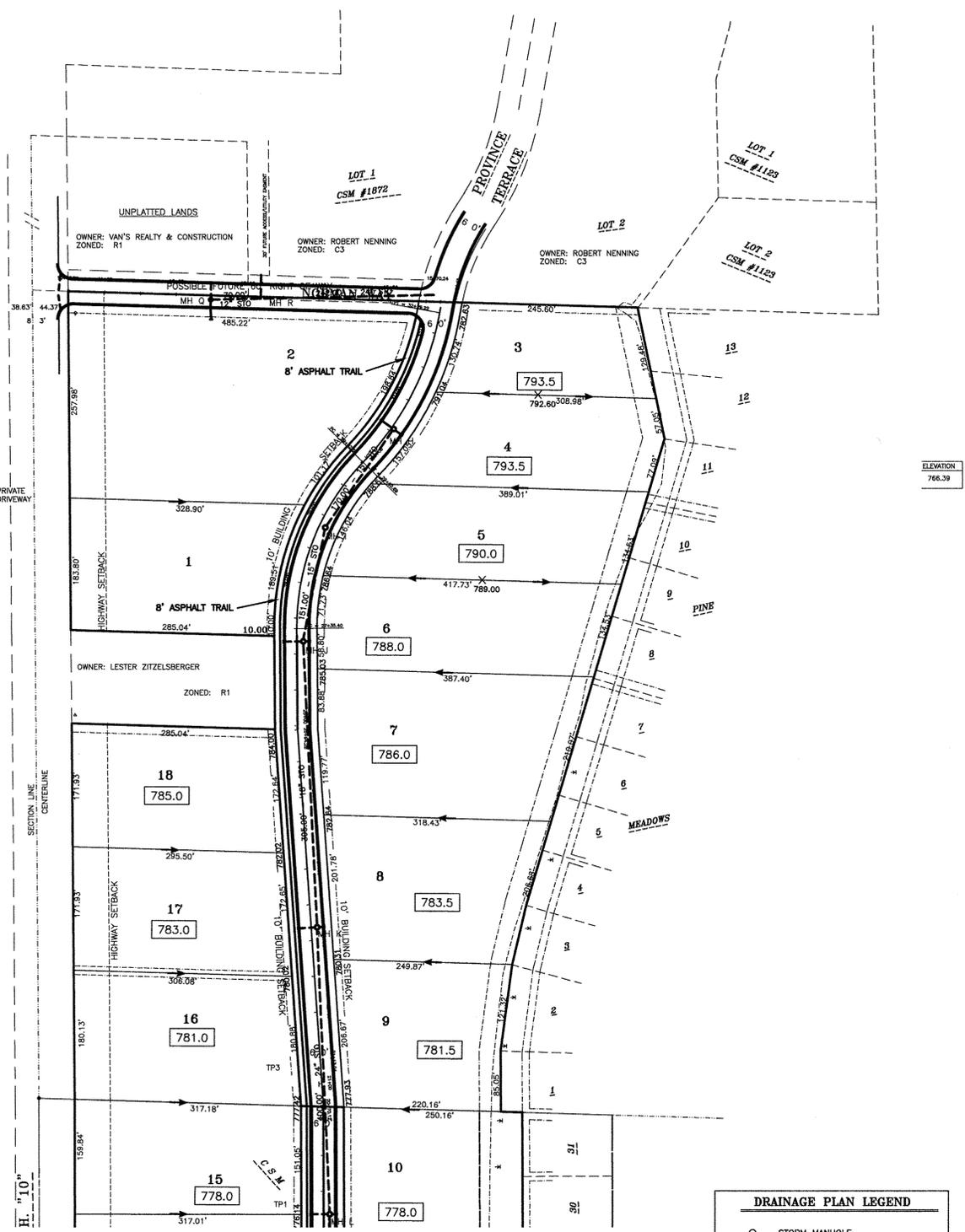
Mattenson & Eisele, Inc.
Planning - Surveying - Engineering - Architecture

1377 Midway Road, Menasha, WI 54952
Phone (920) 731-0381 Fax (920) 733-8578
www.mattenson-eisele.com
info@mattenson-eisele.com

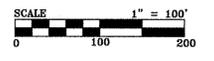
NO.	DATE	DRAWN BY	EAE	CHECKED	BY	APPROVED	SCM	REVISION	
								BCO	REVISED

DRAINAGE PLAN
PROVINCE TERRACE
CITY OF MENASHA, CALUMET COUNTY, WISCONSIN.

HORIZ	VERT
1"=100'	
DATE	
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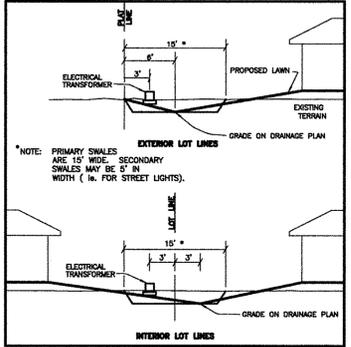


ELEVATION
786.39



TOPOGRAPHIC LEGEND

- 1" x 24" IRON PIPE SET
- 1-1/4" x 30" REBAR SET
- × CHISELED "X" SET
- ▲ 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- ◆ 1-1/4" REBAR FOUND
- 2" IRON PIPE FOUND
- ⊙ CHISELED "X" FOUND
- ⊕ GOVERNMENT CORNER
- ⊖ CONTOUR W/ ELEVATION
- ⊗ SOIL BORING
- ⊘ TOPSOIL DEPTH
- ⊙ CONFEROUS TREE
- ⊙ DECIDUOUS TREE
- ⊙ EXIST. WOODS LINE
- ⊙ WETLANDS
- OH OVERHEAD POWER LINES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- UNDERGROUND CABLE TV
- EXIST. FENCE LINE
- ⊙ EXIST. HYDRANT
- ⊙ POWER POLE
- ⊙ LIGHT POLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ ELECTRIC PEDESTAL
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ WATER STOP BOX
- ⊙ EXIST. STORM MANHOLE
- ⊙ STORM INLET
- ⊙ YARD DRAIN
- ⊙ EXIST. SANITARY MANHOLE
- EXIST. SAN. SEWER
- EXIST. STO. SEWER
- EXIST. WATER MAIN
- FF = 800.00
FIRST FLOOR = 800.00



TYPICAL LOT LINE GRADING
CROSS SECTION

DRAINAGE PLAN LEGEND	
○	STORM MANHOLE
■	INLET
○	ESTABLISHED ELEVATION (PREVIOUSLY)
●	PROPOSED ELEVATION
○	EXISTING ELEVATION
○	GROUND AT FOUNDATION ELEVATION
→	DIRECTION OF DRAINAGE
—	EXISTING CONTOUR
—	STORM SEWER
—	LOT LINE GRADING

89-1 404 IN WEST FACE POWER POLE #85-21161
O.H. IN NORTH BERRY SIDE OF MANITOWOC ROAD & 6702 FEET
NORTHWESTERLY OF ONEIDA STREET (U.S.H. "10")
ELEVATION = 767.34

89-2 404 IN NORTH FACE POWER POLE #85-21160
O.H. IN NORTH BERRY SIDE OF MANITOWOC ROAD & 4502 FEET
NORTHWESTERLY OF ONEIDA STREET (U.S.H. "10")
ELEVATION = 765.44

89-3 TAG BOLE ON HYDRANT AT CORNER
JENNIE STREET & ONEIDA STREET (U.S.H. "10")
ELEVATION = 769.64

89-4 TAG BOLE ON HYDRANT AT END OF TOWERWAY
C.I.L. D.B. & C.C. ON PROVINCE TERRACE, 15002 FEET
SOUTH OF MIDWAY ROAD
ELEVATION = 791.37

QUANTITIES & MATERIALS

COMMERCIAL DEVELOPMENT

Street Construction

- 2,600 C.Y. Unclassified Excavation
- 4,500 Tons of Stone Base
- 7,900 S.Y. of Restoration
- 1,500 L.F. Lot Line Grading

Erosion Control

- Utility contractor shall place and maintain filter fabric as indicated on the plan and around all storm sewer inlets during construction.
- Street contractor shall maintain said fabric during street construction and thereafter until vegetation is established. Silt found to have left site shall be promptly collected and disposed of properly.

QUANTITIES & MATERIALS

BARKER FARM III

Street Construction

- 1,910 C.Y. Unclassified Excavation
- 3,800 Tons of Stone Base
- 8,500 S.Y. of Restoration
- 1,400 L.F. Lot Line Grading
- 1,330 L.F. Ditch Construction

NOTES:

- RIM ELEVATIONS SHOWN ON THESE PLANS FOR MANHOLES AND INLETS ARE AT THE FINAL GRADES.
- THE CENTER OF THE NOZZLES FOR THE PROPOSED FIRE HYDRANTS SHALL BE A MINIMUM OF 18" ABOVE THE FINISHED GROUND GRADE AT THE HYDRANTS.
SINCE THERE ARE AREAS NEAR HYDRANTS WHERE THE DEPTH OF THE WATER MAIN MUST BE VARIED FROM THE TYPICAL BURY, DIFFERENT DEPTH BURY HYDRANTS MAY BE REQUIRED ON THIS PROJECT.
IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE PROPER HYDRANTS SO THE NOZZLES ARE THE CORRECT HEIGHT ABOVE FINISHED GROUND.

EROSION CONTROL

UTILITY CONTRACTOR SHALL PLACE FILTER FABRIC AS INDICATED ON THE PLAN AND AROUND ALL STORM SEWER INLETS DURING CONSTRUCTION.
STREET CONTRACTOR SHALL MAINTAIN SAID FABRIC DURING STREET CONSTRUCTION AND THEREAFTER UNTIL VEGETATION IS ESTABLISHED. THE COLLECTION OF SILT SHALL BE COLLECTED AND DISPOSED OF PROPERLY.
STREET RESTORATION WILL INCLUDE SEEDING, FERTILIZING, AND MULCHING OF THE TERRACE AREA.
RESTORATION WILL ALSO INCLUDE SEEDING, FERTILIZING, AND MULCHING OF ANY DISTURBED AREAS OF THE DRAINAGE DITCHES.
ALL DISTURBED AREAS WILL BE SEEDED.

BENCHMARKS

- BM-1 "X" ON TOP OF HYDRANT AT FARVIEW DRIVE AND NORTH TREELINE OF PINE PLANTATION. ELEVATION 792.85
- BM-3 "X" ON TOP OF HYDRANT AT NORTH R/W OF MIDWAY RD. AND 1100' EAST OF ONEIDA ST. ELEVATION 798.42
- BM-4 "X" ON TOP OF HYDRANT AT NORTH R/W OF MIDWAY RD. AND 1700' EAST OF ONEIDA ST. ELEVATION 801.45
- BM-2 PK NAIL IN 18" HICKORY, 485' E. OF ONEIDA ST. C.L. AND 590' S. OF MIDWAY RD. C.L. ELEVATION 805.18

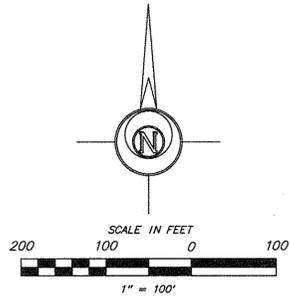
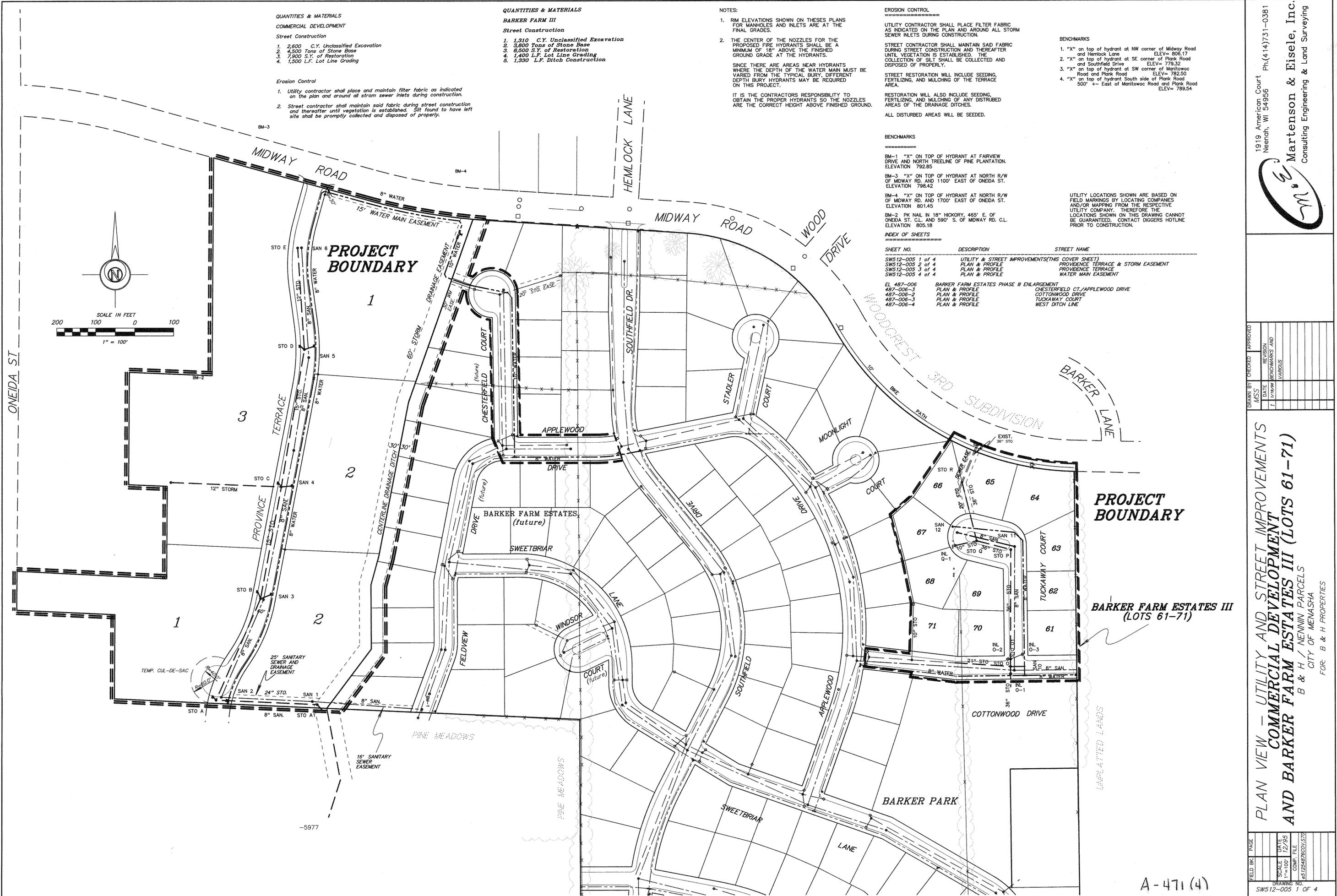
INDEX OF SHEETS

SHEET NO.	DESCRIPTION	STREET NAME
SW512-005 1 of 4	UTILITY & STREET IMPROVEMENTS (THIS COVER SHEET)	
SW512-005 2 of 4	PLAN & PROFILE	PROVIDENCE TERRACE & STORM EASEMENT
SW512-005 3 of 4	PLAN & PROFILE	PROVIDENCE TERRACE
SW512-005 4 of 4	PLAN & PROFILE	WATER MAIN EASEMENT
EL 487-006	BARKER FARM ESTATES PHASE III ENLARGEMENT	CHESTERFIELD CT./APPLEWOOD DRIVE
487-006-3	PLAN & PROFILE	COTTONWOOD DRIVE
487-006-2	PLAN & PROFILE	TUCKAWAY COURT
487-006-3	PLAN & PROFILE	TUCKAWAY COURT
487-006-4	PLAN & PROFILE	WEST DITCH LINE

BENCHMARKS

- "X" on top of hydrant at NW corner of Midway Road and Hemlock Lane ELEV= 806.17
- "X" on top of hydrant at SE corner of Plank Road and Southfield Drive ELEV= 779.32
- "X" on top of hydrant at SW corner of Manitowoc Road and Plank Road ELEV= 782.50
- "X" on top of hydrant South side of Plank Road 500' +/- East of Manitowoc Road and Plank Road ELEV= 789.54

UTILITY LOCATIONS SHOWN ARE BASED ON FIELD MARKINGS BY LOCATING COMPANIES AND/OR MAPPING FROM THE RESPECTIVE UTILITY COMPANY. THEREFORE THE LOCATIONS SHOWN ON THIS DRAWING CANNOT BE GUARANTEED. CONTACT DIGGERS HOTLINE PRIOR TO CONSTRUCTION.



1919 American Court
Neenah, WI 54956
Ph: (414) 731-0381

Martenson & Eisele, Inc.
Consulting Engineering & Land Surveying

DRAWN BY	CHECKED	APPROVED

DATE	REVISION
1/1/99	BENCHMARKS AND VARIOUS

PLAN VIEW - UTILITY AND STREET IMPROVEMENTS
COMMERCIAL DEVELOPMENT
AND BARKER FARM ESTATES III (LOTS 61-71)
B & H / NENNIN PARCELS
CITY OF MENASHA
FOR: B & H PROPERTIES

FIELD BK. PAGE
SCALE DATE
1"=100' 12/95
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DRAWING NO.
SW512-005 1 OF 4

A-471(4)

Alpha Prime
@ 11x17
1"=60'
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