

It is expected that a Quorum of the Board of Public Works, Park Board, Administration Committee, and/or Common Council may attend this meeting: (although it is not expected that any official action of any of those bodies will be taken)

**CITY OF MENASHA
PLAN COMMISSION
Council Chambers
140 Main Street, Menasha**

**December 3, 2013
3:30 PM**

AGENDA

3:30 PM - Public Hearing Regarding the Special Use Permit Application for 336 Chute St, Biechler's Chute St. Pub and Apartments

3:35 PM - Public Hearing Regarding the Special Use Permit Application for 420 Seventh Street, Menasha High School Addition/Renovation

A. CALL TO ORDER

B. ROLL CALL/EXCUSED ABSENCES

C. MINUTES TO APPROVE

1. [Minutes of the November 19, 2013 Plan Commission Meeting](#)

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

Five (5) minute time limit for each person

E. DISCUSSION

1. None

F. ACTION ITEMS

1. [Special Use Permit - 336 Chute Street - Biechler's Chute St. Pub and Apartments](#)
2. [Special Use Permit - 420 Seventh Street - Menasha High School Addition/Renovation](#)

G. ADJOURNMENT

**CITY OF MENASHA
Plan Commission
Council Chambers, City Hall – 140 Main Street
November 19, 2013
DRAFT MINUTES**

A. CALL TO ORDER

The meeting was called to order at 3:35 PM by Mayor Merkes.

B. ROLL CALL/EXCUSED ABSENCES

PLAN COMMISSION MEMBERS PRESENT: Mayor Merkes, DPW Radtke and Commissioners, Schmidt and DeCoster.

PLAN COMMISSION MEMBERS EXCUSED: Ald. Benner; Commissioners Sturm and Cruickshank.

PLAN COMMISSION MEMBERS ABSENT: None

OTHERS PRESENT: CDD Keil, PP Homan, Brian Adesso and David Elliott of the Menasha Joint School District, Abie Khatchadourian with Eppstein Uhen Architects, Scott Grohouski with Point of Beginning, and Vern Green with Neenah/Menasha Fire Rescue.

3:30 PM – Public Hearing Regarding Proposed Ordinance O-8-13 Relating to Setbacks to Drainage Easements

Mayor Merkes opened the informal public hearing at 3:35 PM.

No one spoke.

Mayor Merkes closed the public hearing at 3:36 PM.

C. MINUTES TO APPROVE

1. **Minutes of the October 29, 2013 Plan Commission Meeting**

Motion by Comm. Schmidt, seconded by Comm. DeCoster to approve the October 29, 2013 Plan Commission meeting minutes. The motion carried.

D. PUBLIC COMMENT ON ANY ITEM OF CONCERN ON THIS AGENDA

1. No one spoke.

E. DISCUSSION

1. **Menasha High School Site and Building Plans**

PP Homan provided commissioners with an overview of the preliminary site plan, which included the location of the proposed additions, anticipated removal of existing homes on Racine St, and required provisions for landscaping, lighting, future parking lot configurations, and the extent of the site plan boundary.

Mr. Grohouski of Point of Beginning Engineering & Surveying indicated that all required items and code provisions will be included in the submitted with the Special Use Permit. He also noted that they anticipate the final plans will have no addition of impervious surface from the current state.

Mr. Khatchadourian of Eppstein Uhen Architects provided an overview of the architectural features of the proposed addition and renovation. The design of the additions are context sensitive and seek to honor the original architecture while not being an exact replica.

Commissioners inquired about building materials, glass transitions, preservation of interior

architectural features, window openings for the original gymnasium, the timeline for construction, and parking needs during construction.

Mr. Katchadourian indicated the bricks will be matched as much as possible; the glass transitional areas will make it harder to distinguish between the new and old bricks. Their intention is to preserve as much of the original floor tile as possible and ensure proper transitioning from old surfaces to new surfaces within the interior of the building. Where possible corridors have been placed to allow for the exposure of original walls and window openings that are adjacent to the new addition, which will serve both aesthetic and fire-protection purposes.

Mr. Elliot indicated they will be reopening the old gymnasium windows and installing windows that compliment the original design of the windows to the extent possible. Work on the addition is scheduled to begin winter break of this year, with final occupancy anticipated August 2015. They are looking into their options for construction worker parking, which includes off site parking at Calder Stadium.

2. **Amendment to Ordinance 13-1-52(b)(1) and (2) Relating to Driveway Surfacing**

CDD Keil provided an overview of potential revisions to the driveway ordinance as it relates to requiring paving upon construction of a new garage, and also as it relates to single and two family homes located in non-single family or two-family zoning districts.

Motion by Comm. Schmidt, seconded by DPW Radtke to approved the language contained in the proposed amendment to Ordinance 13-1-52(b)(1) and (2) for official consideration at a future Plan Commission Meeting.

The motion carried.

3. **Proposed Amendment to Driveway Installation Policy – Establishing Maximum Driveway Width**

PP Homan provided an overview regarding the potential revision to the driveway installation policy as it relates to maximum width of a driveway where it meets the property line. This is being proposed to ensure that zoning restrictions relative to driveway widths match public works regulations pertaining to driveway aprons in the right of way.

Commissioner Schmidt inquired about the relationship between the installation policy and the municipal code and the enforceability. PP Homan indicated that the policy is referenced in the ordinance and must be approved by council.

Motion by Commissioner DeCoster, seconded by DPW Radtke to approve the language contained in the proposed amendment to the Driveway Installation Policy for official consideration at a future Plan Commission Meeting.

The motion carried.

4. **Alternative Methods for Designing Drainage Easements**

CDD Keil provided an overview of responses received from inquiries to the Northeast Wisconsin Stormwater Consortium and the Wisconsin chapter of the American Planning Association. Potential methods included utilizing legal instruments such as outlots.

ACTION ITEMS

1. **Amendments to Proposed Ordinance O-8-13 Relating to Setbacks to Drainage Easements**

PP Homan provided an overview of the proposal to repeal section 13-1-14(k).

Commissioners discussed the following issues that the proposed ordinance will help alleviate:

- Differences between drainage easements, such as those containing ditches versus swales, and how the current code does not distinguish the two.
- Constraints added to site usage with additional setbacks off of the easements, particularly in side yards.
- Inability for a property owner to easily discern additional setback restrictions prior to purchasing a property if not contained within the subdivision plat.

Commissioners took no action on this item, as it was their desire to ensure that prior to recommending repeal of this provision to the Common Council, alternative methods for protecting property owners are simultaneously proposed at a future Plan Commission meeting. Commissioners instructed staff to further research alternative provisions that may better accomplish the intent of protecting property owners from heavy volumes of stormwater flow.

2. **Province Terrace Trail Location North of Manitowoc Road**

Commissioners discussed pros and cons of locating the trail on either side, including the crossing at Manitowoc Rd, proximity to driveway entrances, and to the city's stormwater facility and adjacent wetlands and woodlands.

DPW Radtke indicated that he has not yet finished his analysis on the best alternative for the trail location.

No action was taken.

3. **Amendment to Alpha Prime Site Plan Condition Pertaining to Stormwater Management – 835 Valley Road**

PP Homan indicated that a condition was placed on the Site Plan Amendment for Alpha Prime stating that all stormwater management shall occur on-site.

DPW Radtke indicated that, upon further analysis and consultation with the engineers for the site, he is recommending that a drainage swale should be allowed to be situated at the lot line. This is standard practice in many subdivisions, and both parcels are owned by the same property owner.

Motion by DPW Radtke, seconded by Comm. DeCoster to amend the condition applied to the Site Plan Amendment approval for 835 Valley Road, Alpha Prime, allowing for stormwater management to be accomplished along the lot line.

The motion carries.

G. ADJOURNMENT

Motion by Comm. Schmidt, seconded by DPW Radtke to adjourn at 4:56 p.m. The motion carried.

Minutes respectfully submitted by PP Homan.

City of Menasha

SPECIAL ZONING APPROVAL

Owner HISTORIC HOTEL PUB LLC

Case or Plan No. _____

Address 336 CHUTE ST.

Fee \$350.00

Applicant (if different than Owner) ROGER BIECHLER

Address 100 LOCK ST.

Zoning C-2 Parcel Number(s) 2-00/21-00

PLEASE INDICATE WHICH REQUEST IS BEING MADE

- Rezoning Special Use Flood Plain Map Amendment
 Appeal or Variance PUD Plan Approval

Description of Request: CHANGE OF OCCUPANCY - RESIDENTIAL TO
GROUP A (TAVERN) EXISTING NON-CONFORMING
STRUCTURE → 4 1 bedroom apartments.

Owner/Agent Roger A. Biechler
Signature

(If applicable) Formal Hearing 12/16/2013
Informal Hearing 12/3/2013 Notice Mailed ^{to neighbors} 11/27/2013
Notice Mailed _____ Notice Mailed _____

Action Taken: _____ 20__

- APPROVED DENIED

Conditions (if any): _____



November 27, 2013

RE: Special Use Permit Application for 336 Chute St

Dear Property Owner:

Roger Biechler, of Historic Hotel Pub LLC, has applied for a Special Use Permit for the property located at 336 Chute St, Parcel # 2-00121-00, as identified on the attached map. Mr. Biechler has requested the Special Use Permit in order to establish a tavern and four apartments. A Special Use Permit is required to change the use or occupancy of a non-conforming property pursuant to Sec 13-1-44(b)(2) of the City of Menasha Municipal Code. The subject site is zoned C-2 Central Business District.

The City of Menasha Plan Commission will be considering this request at an informal public hearing on Tuesday, December 3, 2013 at 3:30 p.m. or shortly thereafter in the City Hall Council Chambers at 140 Main Street, Menasha.

The City of Menasha Common Council will also be considering this request at a formal public hearing scheduled for Monday, December 16, 2013 at 6:00 p.m. or shortly thereafter in the City Hall Council Chambers, 140 Main Street, Menasha. A copy of the notice of the Common Council hearing on this proposal is attached along with an area map identifying the location of the property.

Persons interested in this matter will be given an opportunity to comment on the request; written comments will also be considered. The City of Menasha is notifying you because you own property within one hundred (100) feet of the proposed special use, as required by Section 13-1-11(d)(3) of the Municipal Code. If you have any questions, please feel free to contact me.

Sincerely,

Kara Homan, AICP
Principal Planner

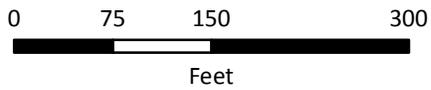
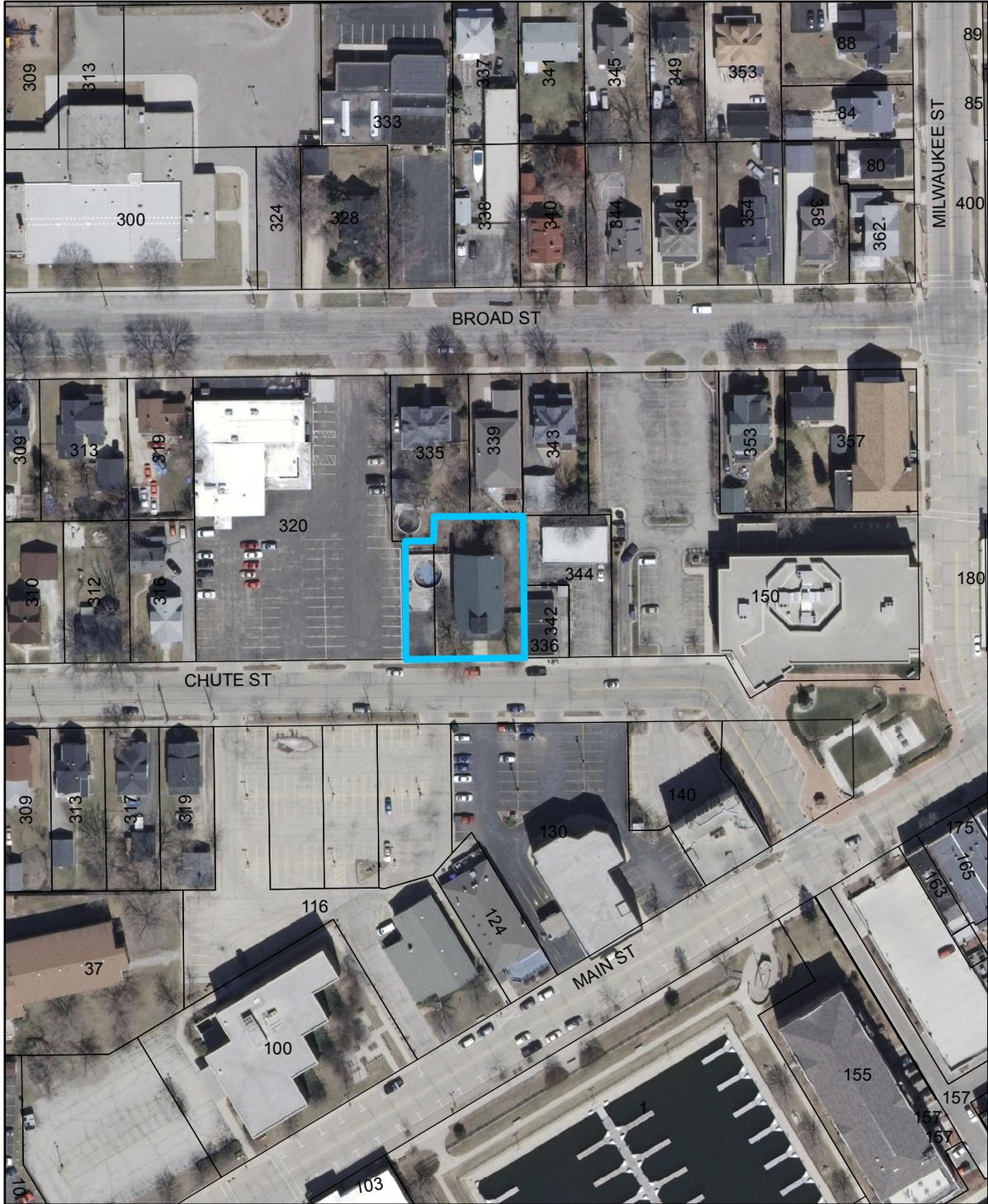
C: Plan Commission
City Clerk Galeazzi

**City of Menasha
Public Hearings**

NOTICE IS HEREBY GIVEN that public hearings will be held by the Menasha Plan Commission and Common Council on an application for a Special Use Permit by Historic Hotel Pub, LLC to establish a tavern and four apartments on a non-conforming parcel in the C-2 Central Business District, as required by Sec 13-1-44(b)(2) of the City of Menasha Municipal Code. The proposed use is to take place on a parcel located at 336 Chute Street (Parcel Number 2-00121-00), City of Menasha, Winnebago County, Wisconsin. The Plan Commission will hold its informal public hearing on Tuesday, December 3, 2013 at 3:30 PM, or shortly thereafter, in the Council Chambers of Menasha City Hall located at 140 Main Street, Menasha, WI 54952. The Common Council will hold its formal public hearing on this matter at 6:00 PM, or shortly thereafter, on Monday, December 16, 2013 at the same location. All persons interested in commenting on the application for this Special Use Permit are invited to attend.

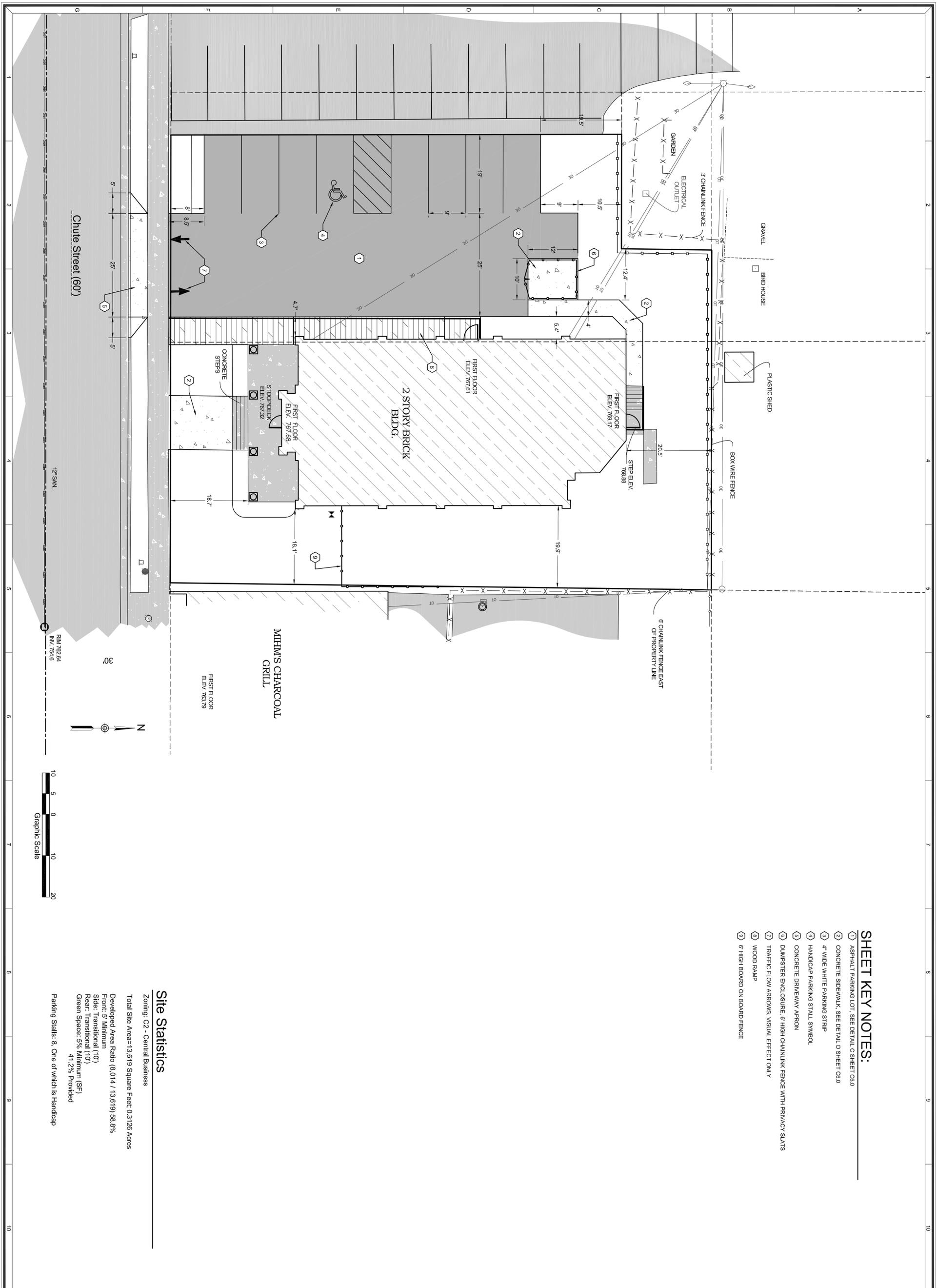
Deborah A. Galeazzi, WCMC
City Clerk

Run: Dec 1 & 9, 2013



**Special Use Permit Location
Proposed Tavern & Apartments
336 Chute St**

Parcel Numbers: 2-00121-00



SHEET KEY NOTES:

- ① ASPHALT PARKING LOT, SEE DETAIL C SHEET C5.0
- ② CONCRETE SIDEWALK, SEE DETAIL D SHEET D5.0
- ③ 4" WIDE WHITE PARKING STRIP
- ④ HANDICAP PARKING STALL SYMBOL
- ⑤ CONCRETE DRIVEWAY ARRON
- ⑥ DUMPSTER ENCLOSURE, 6' HIGH CHAINLINK FENCE WITH PRIVACY SLATS
- ⑦ TRAFFIC FLOW ARROWS, VISUAL EFFECT ONLY
- ⑧ WOOD RAMP
- ⑨ 6' HIGH BOARD ON BOARD FENCE

Site Statistics

Zoning: C2 - Central Business
 Total Site Area=13,619 Square Feet 0.3126 Acres
 Developed Area Ratio (8,014 / 13,619) 58.8%
 Front: 5' Minimum
 Side: Transitional (10')
 Rear: Transitional (10')
 Green Space: 5% Minimum (SF)
 41.2% Provided
 Parking Stalls: 8, One of which is Handicap

Mach IV
 Engineering & Surveying LLC
 211 N. Broadway, Suite 114, Green Bay, WI 54303
 PH: 920-569-5765 Fax: 920-569-5767

James J Calmes

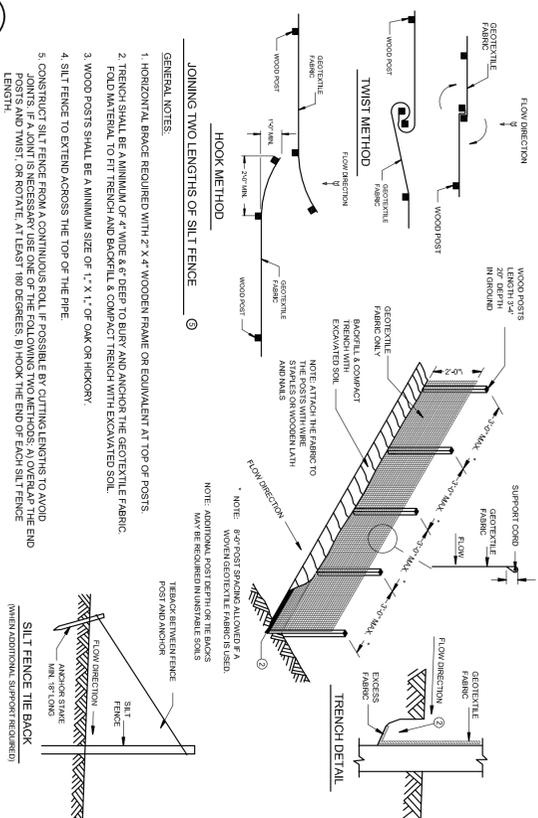
Spirits Bar

Site Plan

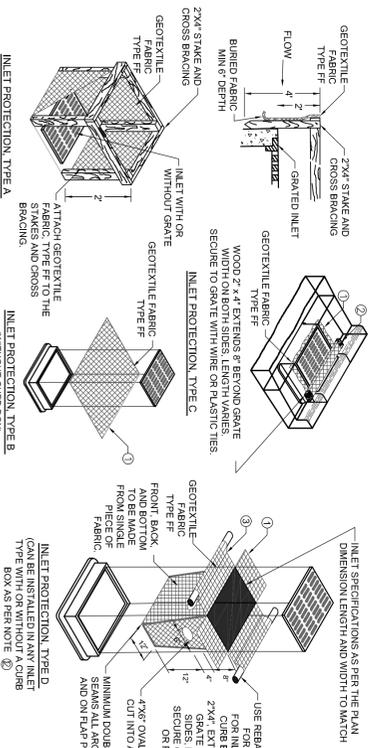
PROFESSIONAL
 SEAL

NO.	REVISION DESCRIPTION

DATE: November 20, 2013	DRAWING NUMBER: 883
DRAFTED BY: RPH	SHEET NUMBER: C2.0
CHECKED BY: RPH	of 8
PROJECT NO.: 0690-01-13	



A SILT FENCE

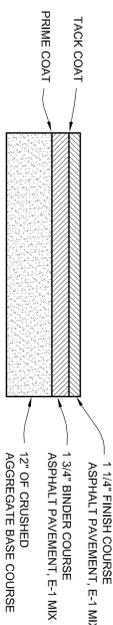


A INLET PROTECTION

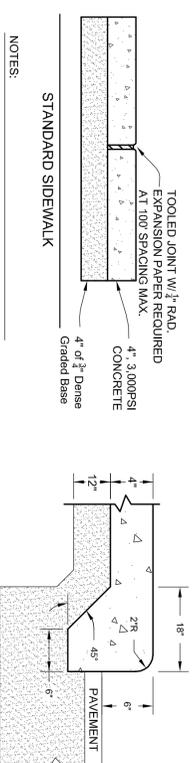
INSTALLATION NOTES TYPE B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE EXCESS FABRIC SHALL BE SECURED TO THE CURB OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

GENERAL NOTES:
1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 1' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2 FOR INLET PROTECTION, TYPE C WITH CURB BOX, AN ADDITIONAL 1" OF FABRIC IS REQUIRED AROUND THE WOOD AND SECURED TO THE CURB OR OTHER METHOD TO PREVENT THE ENTIRE HEIGHT OF THE CURB BOX OPENING GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET.
3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

The State of Wisconsin
Department of Transportation
Standard Detail Drawing E-102



C STANDARD ASPHALT PAVEMENT SECTION



D CONCRETE SIDEWALK

NOTES:

- CONCRETE SHALL RECEIVE A BROOKEED FINISH.
- JOINT SPACING SHALL BE 5' OR WIDTH OF SIDEWALK, WHICHEVER IS GREATER (10' MAX).
- SIDEWALK WIDTH VARIES.

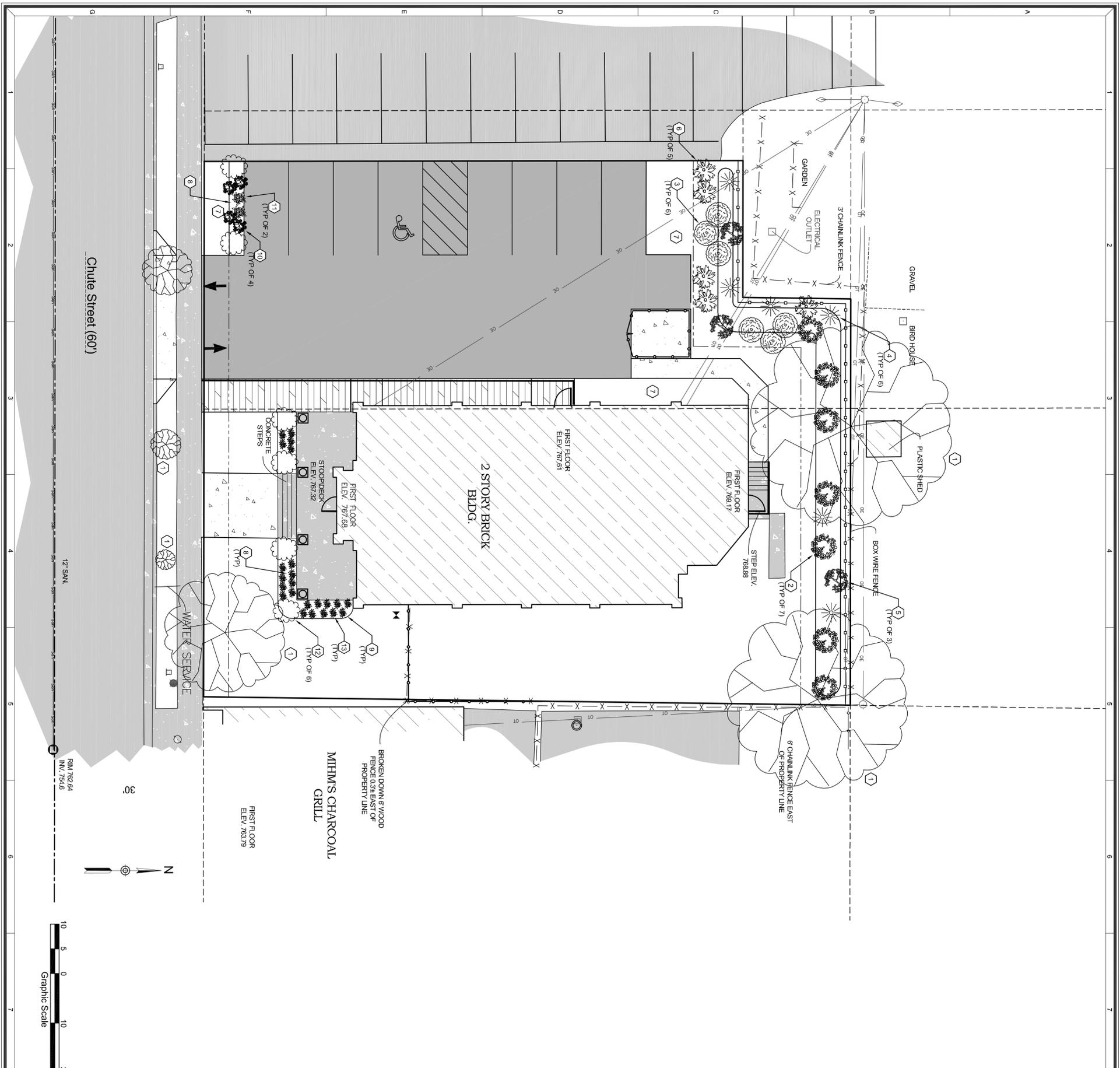
NO.	REVISION DESCRIPTION

James J Calmes
Spirits Bar
Details

PROFESSIONAL
SEAL

Mach IV
Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

DATE: November 20, 2013	CHECKED BY: RPH
DRAWING NUMBER: 883	SHEET NUMBER: C6.0



SHEET KEY NOTES:

- ① EXISTING DECIDUOUS TREE TO REMAIN
- ② DWARF KOREAN LILAC
- ③ SPIREA
- ④ EMERALD ARBORVITAE
- ⑤ HONEY LOCUST
- ⑥ CHINESE SNOWBALL VIBURNUM
- ⑦ SOD ALL DISTURBED AREAS
- ⑧ STONE MULCH (SELECTED BY OWNER)
- ⑨ LANDSCAPE EDGING
- ⑩ GOLD FLAME SPIREA
- ⑪ PURPLE LEAF SAND CHERRY
- ⑫ BURNING BUSH
- ⑬ DAY LILIES (VARIOUS COLORS)

TRANSITION ZONE PLANTINGS

PLANT SYMBOL	PLANT SPECIES	QUANTITY	SCREENING POTENTIAL (SF EACH)	SCREENING POTENTIAL TOTAL (SF EACH)	PLANTING SIZE (MINIMUM)
	DWARF KOREAN LILAC	7	30	210	24" IN HEIGHT
	HONEY LOCUST	3	150	450	ONE AND ONE-HALF INCH (1.5") CALIBER
	SPIREA	6	30	180	24" IN HEIGHT
	CHINESE SNOWBALL VIBURNUM	5	30	150	24" IN HEIGHT
	EMERALD ARBORVITAE	6	50	300	FIVE FEET (5') IN HEIGHT
	EXISTING DECIDUOUS TREE	2	150	300	
TOTAL				1590	

BASIS FOR CALCULATION
 TOTAL LENGTH OF PROPERTY LINE MULTIPLIED BY 16 FEET FOR HEIGHT EQUALS SCREEN AREA SQUARE FOOTAGE WITH 75% OF THAT AREA TO BE SCREENED.
 (27.63+21.73+82.18)16*0.75=1577.52 SF

James J Calmes Spirits Bar Landscape Plan	PROFESSIONAL SEAL	<h1 style="margin: 0;">Mach IV</h1> <p style="margin: 0;">Engineering & Surveying LLC</p> <p style="font-size: small; margin: 0;">211 N. Broadway, Suite 114, Green Bay, WI 54303 PH: 920-569-5765 Fax: 920-569-5767</p>
DATE: November 20, 2013 DRAFTED BY: RPH CHECKED BY: PROJECT NO.: 0690-01-13 DRAWING NUMBER: 883 SHEET NUMBER: L1.0 of 8	NO. REVISION DESCRIPTION	

City of Menasha
SPECIAL ZONING APPROVAL

Owner Menasha School District Case or Plan No. _____

Address 420 Seventh St - Menasha High School Fee \$350

Applicant (if different than Owner) _____

Address 328 Sixth St

Zoning R-1 Parcel Number(s) 1-00574-00; 1-00573-00; 1-00572-00; 1-00571-00; 1-00570-00; 1-00569-00; 1-00568-00

PLEASE INDICATE WHICH REQUEST IS BEING MADE

- Rezoning Special Use Flood Plain Map Amendment
 Appeal or Variance PUD Plan Approval

Description of Request: Site plan approval for the proposed building additions at the Menasha High School. A Special Use Permit is needed since the school is in a residential district.

Owner/Agent Bruce G. [Signature] Director of Business Services
Signature

(If applicable) Formal Hearing _____

Informal Hearing _____ Notice Mailed _____

Notice Mailed _____ Notice Mailed _____

Action Taken: _____ 20__

APPROVED DENIED

Conditions (if any): _____



November 27, 2013

RE: Special Use Permit Application for Menasha High School Addition/Renovation

Dear Property Owner:

The Menasha School District (MSD) has applied for a Special Use Permit for properties encompassing the Menasha High School Campus located at 420 Seventh Street, as identified on the attached map. MSD has requested the Special Use Permit in order to undertake the proposed addition and renovation of Menasha High School. The property where the additions will be taking place is zoned R-1 Single Family Residence District which requires a Special Use Permit for schools, per Sec. 13-1-25(d)(13) of the City of Menasha Municipal Code.

The City of Menasha Plan Commission will be considering this request at an informal public hearing on Tuesday, December 3, 2013 at 3:35 p.m. or shortly thereafter in the City Hall Council Chambers at 140 Main Street, Menasha.

The City of Menasha Common Council will also be considering this request at a formal public hearing scheduled for Monday, December 16, 2013 at 6:00 p.m. or shortly thereafter in the City Hall Council Chambers, 140 Main Street, Menasha. A copy of the notice of the Common Council hearing on this proposal is attached along with an area map identifying the location of the property.

Persons interested in this matter will be given an opportunity to comment on the request; written comments will also be considered. The City of Menasha is notifying you because you own property within one hundred (100) feet of the proposed special use, pursuant to Section 13-1-11(d)(3) of the Municipal Code. If you have any questions, please feel free to contact me.

Sincerely,

Kara Homan, AICP
Principal Planner

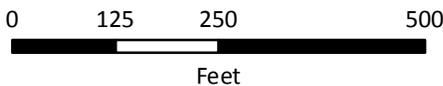
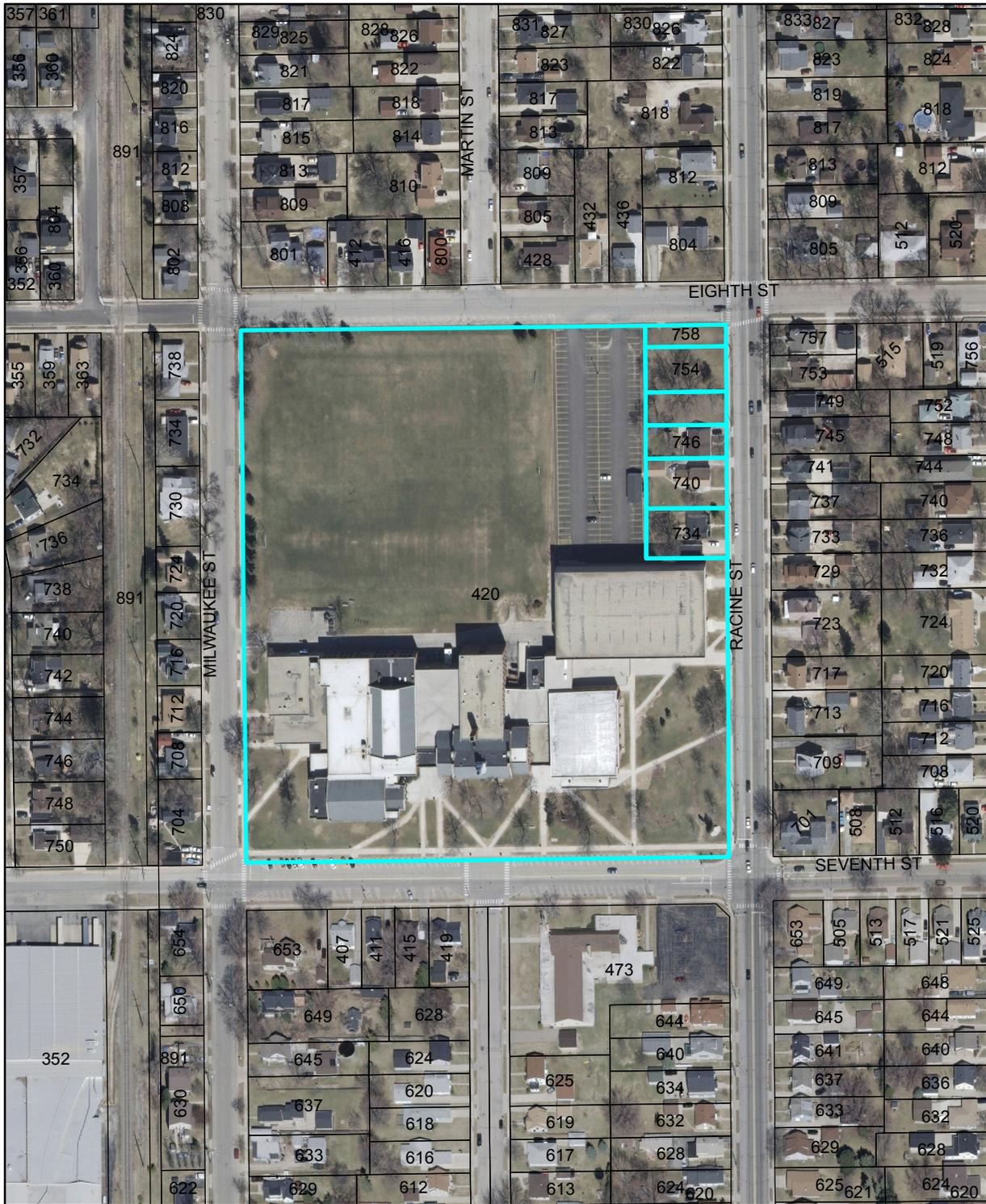
C: Plan Commission
City Clerk Galeazzi

**City of Menasha
Public Hearings**

NOTICE IS HEREBY GIVEN that public hearings will be held by the Menasha Plan Commission and Common Council on an application for a Special Use Permit by the Menasha School District for the expansion and renovation of the Menasha High School on property located in the R-1: Single Family Residence District, as required by Sec. 13-1-25(d)(13) of the City of Menasha Municipal Code. The proposed expansion and renovation is to take place on the Menasha High School Campus located at 420 Seventh Street, which includes Parcel Numbers 1-00574-00, 1-00573-00, 1-00572-00, 1-00571-00, 1-00570-00, 1-00569-00, and 1-00568-00, City of Menasha, Winnebago County, Wisconsin. The Plan Commission will hold its informal public hearing on Tuesday, December 3, 2013 at 3:35 PM, or shortly thereafter, in the Council Chambers of Menasha City Hall located at 140 Main Street, Menasha, WI 54952. The Common Council will hold its formal public hearing on this matter at 6:00 PM, or shortly thereafter, on Monday, December 16, 2013 at the same location. All persons interested in commenting on the application for this Special Use Permit are invited to attend.

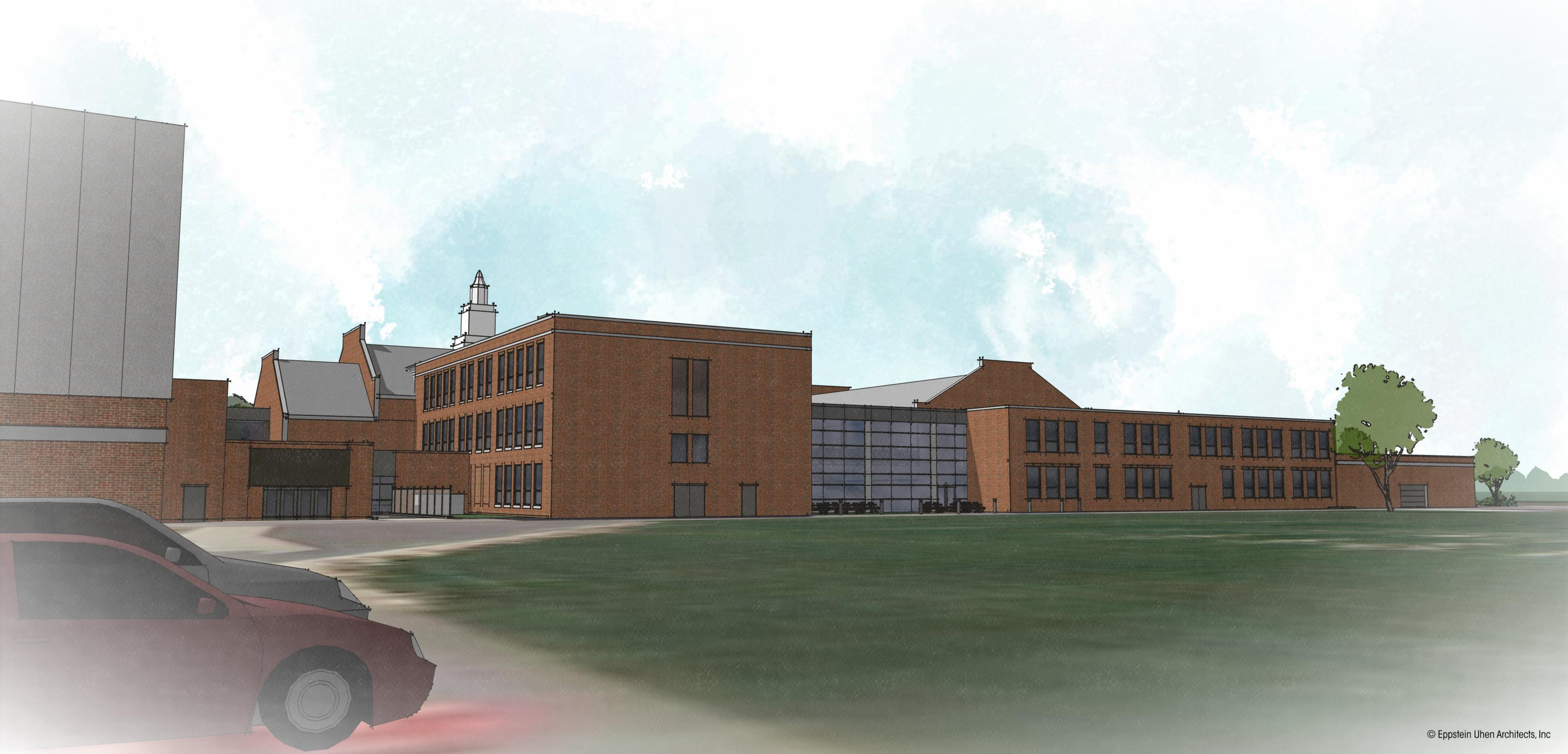
Deborah A. Galeazzi, WCMC
City Clerk

Run: Dec 1 & 9, 2013



Special Use Permit Location Menasha High School Addition/Rennovation

Parcel Numbers: 1-00574-00; 1-00573-00; 1-00572-00;
1-00571-00; 1-00570-00; 1-00569-00; 1-00568-00













eu:a

eppstein uhen : architects

Interior view of new science addition looking back to the original gym - image provided by Eppstein Uhen Architects.



eppstein uhen : architects
 milwaukee 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 tel 414 271 5350 fax 414 271 7794
 madison 222 West Washington Ave, Suite 650
 Madison, Wisconsin 53703
 tel 608 442 5350 fax 608 442 6680

PROJECT INFORMATION
MENASHA HIGH SCHOOL

420 Seventh Street
 Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER	MLB
PROJECT NUMBER	310285
DATE	11-27-13

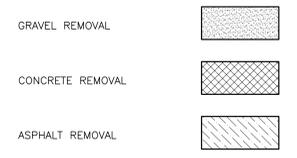
DEMOLITION PLAN

C100

KEYNOTES:

- 1 SAWCUT EXISTING PAVEMENT
- 2 CLEAR AND GRUB EXISTING TREE
- 3 SAVE AND PROTECT EXISTING TREE
- 4 DEMOLISH/REMOVE EXISTING STRUCTURE
- 5 DEMOLISH/REMOVE EXISTING FENCE
- 6 COORDINATE WITH GAS UTILITY TO REMOVE EXISTING SERVICE
- 7 COORDINATE WITH ELECTRIC UTILITY TO REMOVE EXISTING SERVICE
- 8 COORDINATE WITH MUNICIPALITY TO ABANDON EXISTING WATER AND SANITARY SEWER SERVICE
- 9 REMOVE EXISTING DUCTILE IRON PIPE
- 10 REMOVE EXISTING CONCRETE CURB & GUTTER
- 11 REMOVE EXISTING LANDSCAPE AREA
- 12 POTENTIAL UTILITY CLEANOUT—CONTRACTOR SHALL CONFIRM USE
- 13 REMOVE EXISTING A.C. UNIT (COORDINATE WITH MECHANICAL CONTRACTOR)

DEMOLITION HATCH PATTERNS:

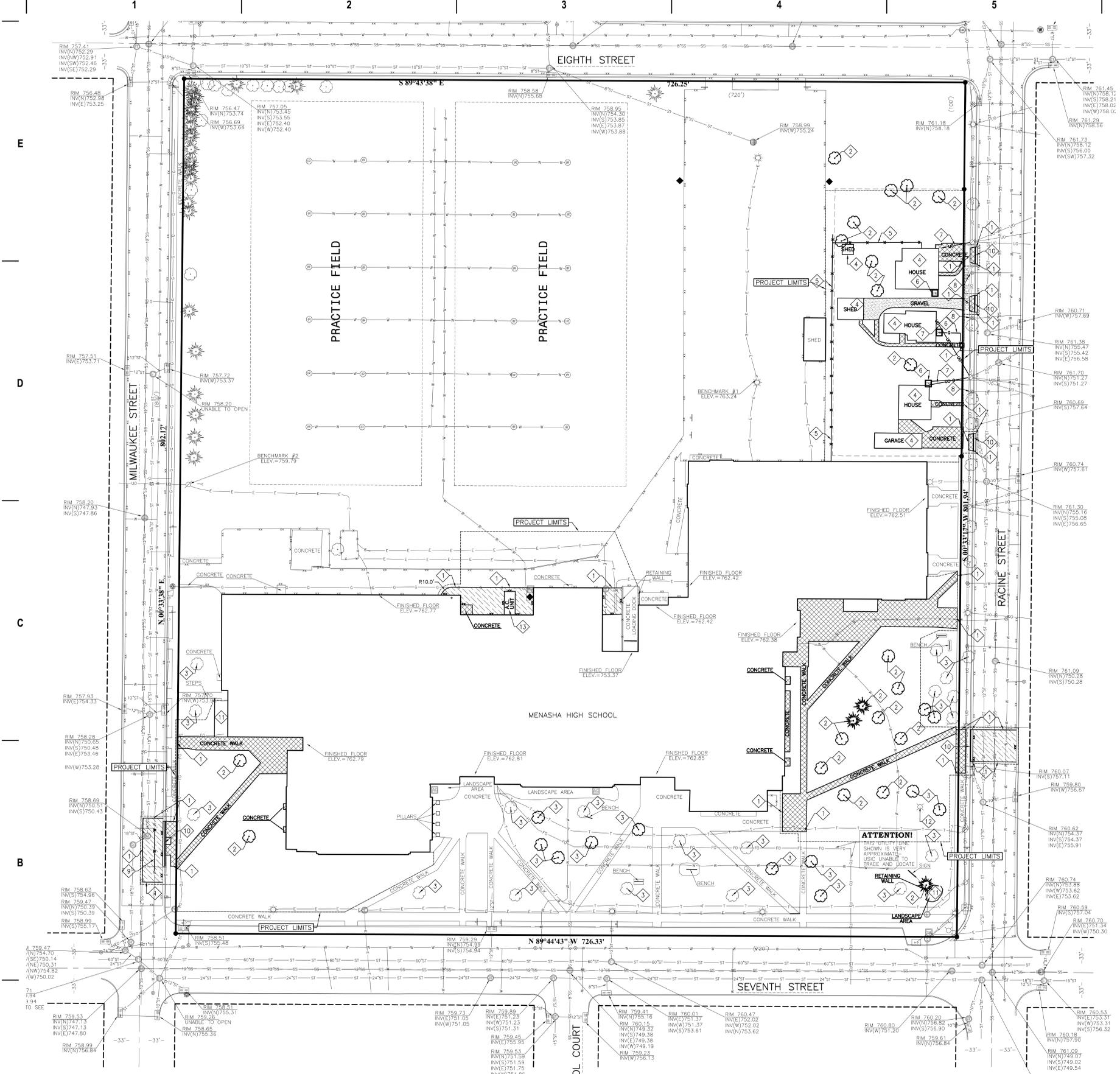


GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING PRIVATE UTILITIES ON SITE PRIOR TO THE START OF WORK.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- STOCKPILE STRIPPED TOPSOIL ON SITE. PLACE SILT FENCE AROUND THE BASE OF THE STOCKPILE TO PREVENT EROSION.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL KEEP ALL CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE OUTSIDE WITHIN THE IDENTIFIED PROJECT LIMITS.
- ALL CONCRETE SAWCUTS SHALL BE FULL DEPTH AT NEAREST JOINT.

LEGEND

- These standard symbols will be found in the drawing.
- SANITARY PER CONSTRUCTION DOCS.
 - STORM PER CONSTRUCTION DOCS.
 - WATER PER CONSTRUCTION DOCS.
 - ELECTRIC PER CONSTRUCTION DOCS.
 - GAS PER CONSTRUCTION DOCS.
 - SANITARY SEWER
 - STORM SEWER
 - OVERHEAD UTILITIES
 - BURIED ELECTRIC
 - BURIED GAS
 - BURIED TELEPHONE
 - WATERMAN
 - FIBER OPTICS
 - FENCE LINE
 - EDGE OF BITUMINOUS
 - CONTOUR LINE
 - RECTANGULAR CATCH BASIN
 - CIRCULAR CATCH BASIN
 - SOIL BORING
 - IRRIGATION HEAD
 - CLEAN OUT
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - ELECTRIC TRANSFORMER
 - GAS METER
 - GAS VALVE
 - GAIRD POST
 - GLY WIRE
 - HYDRANT
 - LIGHTPOLE
 - POWERPOLE
 - SANITARY MANHOLE
 - SIGN
 - STORM MANHOLE
 - STORM MANHOLE
 - TELEPHONE PEDESTAL
 - TRAFFIC SIGNAL
 - WATER MANHOLE
 - WATER VALVE
 - TREE
 - PINE TREE
 - COMPUTED CORNER
 - RECORDED AS



UNDERGROUND UTILITIES

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FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND LOCATION.

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED IN PART ON MARKINGS BY DIGGER'S HOTLINE (TICKET #20132706899, #20132706912, #20132706922, #20132706933 AND #20132706950)

BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

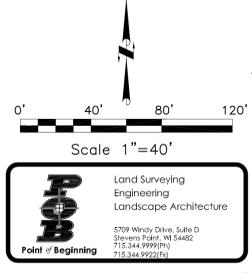
BENCHMARK #1
 MARKER "Y" ON LIGHT POLE BASE, LOCATED IN THE MAIN PARKING LOT NORTH OF THE HIGH SCHOOL AND BEING THE MOST SOUTHERN LIGHT POLE.
 ELEVATION = 763.24

BENCHMARK #2
 SPIKE IN POWER POLE, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 400 FEET SOUTH OF EIGHTH STREET.
 ELEVATION = 759.79

BENCHMARK #3
 BURY BOLT ON HYDRANT, LOCATED IN THE NORTHEAST CORNER OF MILWAUKEE STREET AND EIGHTH STREET.
 ELEVATION = 759.12

DESCRIPTION

LOTS 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND PART OF LOTS 5, 6 AND 7, ALL IN REED'S FIRST ADDITION, LOCATED IN THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



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GENERAL NOTES:

- SEE SHEET C103 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- ALL CURB AND GUTTER RADIUS DIMENSIONS ARE TO THE FLOWLINE OF CURB AND GUTTER.
- ASPHALT STREET REPAIR SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MENASHA STANDARD SPECIFICATIONS.

KEYNOTES:

- | | | |
|--|---|---|
| ① CONCRETE STAIRS | ← | ① |
| ② 30" CURB & GUTTER | ← | ② |
| ③ 35' FLAG POLE (ALTERNATE BID) | ← | ③ |
| ④ 30' FLAG POLE (ALTERNATE BID) | ← | ④ |
| ⑤ NEW MONUMENT SIGN (ALTERNATE BID) | ← | ⑤ |
| ⑥ CONCRETE PARKING LOT EDGE | ← | ⑥ |
| ⑦ CONCRETE BOLLARD PEDESTRIAN PROTECTION | ← | ⑦ |
| ⑧ A.D.A. RAMP EXTERIOR HANDRAIL | ← | ⑧ |

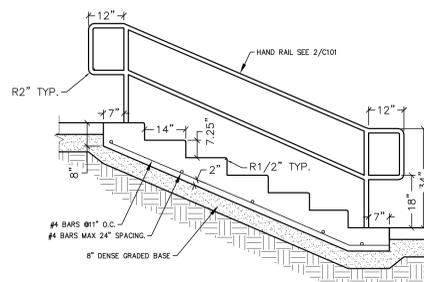
PAVEMENT HATCH PATTERNS:

- | | | |
|---|---|---|
| 4" CONCRETE PAVEMENT | ← | ③ |
| ASPHALT STREET REPAIR (SEE GENERAL NOTE 7) | ← | ④ |
| DECORATIVE COLORED AND STAMPED CONCRETE (ALTERNATE BID) | ← | ⑤ |

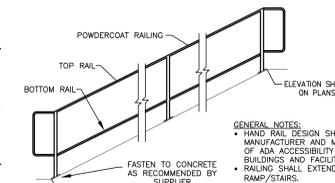
SITE SURFACE AREAS:

	EXISTING AREA	PROPOSED AREA
PAVEMENT & SIDEWALK	109,076 S.F.	88,629 S.F.
ROOF	132,267 S.F.	152,475 S.F.
TOTAL IMPERVIOUS	241,343 S.F.	241,104 S.F.

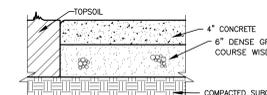
ESTIMATED AREA OF DISTURBANCE = 99,568 S.F. (2.29 ACRES)



EXTERIOR STAIRS



EXTERIOR HANDRAIL

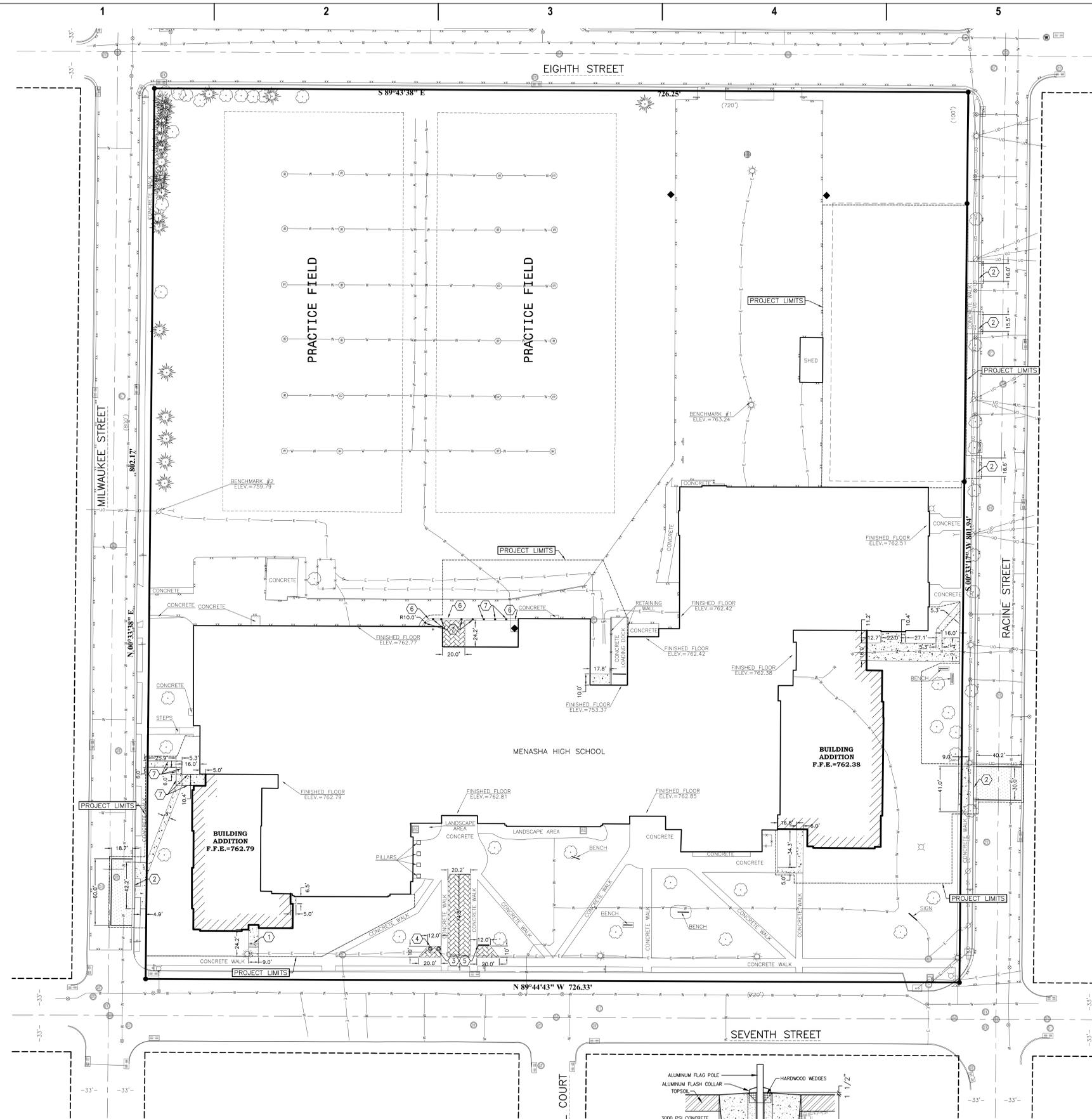


CONCRETE BOLLARD

- GENERAL NOTES:**
- HAND RAIL DESIGN SHALL BE PROVIDED BY MANUFACTURER AND MEET THE REQUIREMENTS OF ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
 - RAILING SHALL EXTEND ENTIRE LENGTH OF RAMP/STAIRS.
 - ALL STEEL SHALL BE 14 GAUGE (MIN.).
 - COLOR SHALL BE CHOSEN BY ARCHITECT AND OWNER.
 - RAILING TO BE INSTALLED ALONG BOTH SIDES OF THE CONCRETE RAMP/STAIRS, 3" FROM THE OUTSIDE EDGE.
 - ANY WELD JOINTS ON HAND RAIL SHALL BE GROUND SMOOTH.

4" CONCRETE PAVEMENT

③ C101



UNDERGROUND UTILITIES

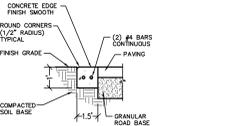
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BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
 BENCHMARK #1 MARKER "1" ON LIGHT POLE BASE, LOCATED IN THE MAIN PARKING LOT NORTH OF THE HIGH SCHOOL AND BEING THE MOST SOUTHERN LIGHT POLE. ELEVATION = 763.24
 BENCHMARK #2 SPIKE IN POWER POLE, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 400 FEET SOUTH OF EIGHTH STREET. ELEVATION = 759.78
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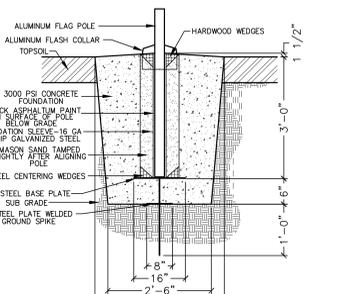
DESCRIPTION

LOTS 1-2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND PART OF LOTS 5, 6 AND 7, ALL IN REED'S FIRST ADDITION, LOCATED IN THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



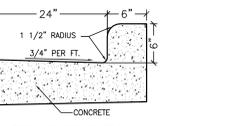
PARKING LOT EDGE

⑥ C101



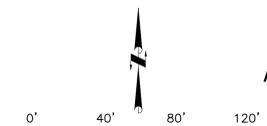
FLAG POLE BASE

⑤ C101



30" CURB AND GUTTER

④ C101



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 milwaukee 333 East Chicago Street
 Milwaukee, Wisconsin 53202
 tel 414 271 5350 fax 414 271 7794
 madison 222 West Washington Ave, Suite 650
 Madison, Wisconsin 53703
 tel 608 442 5350 fax 608 442 6680

PROJECT INFORMATION
MENASHA HIGH SCHOOL

420 Seventh Street
 Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER	MLB
PROJECT NUMBER	310285
DATE	11-27-13

GRADING PLAN

C102

LEGEND

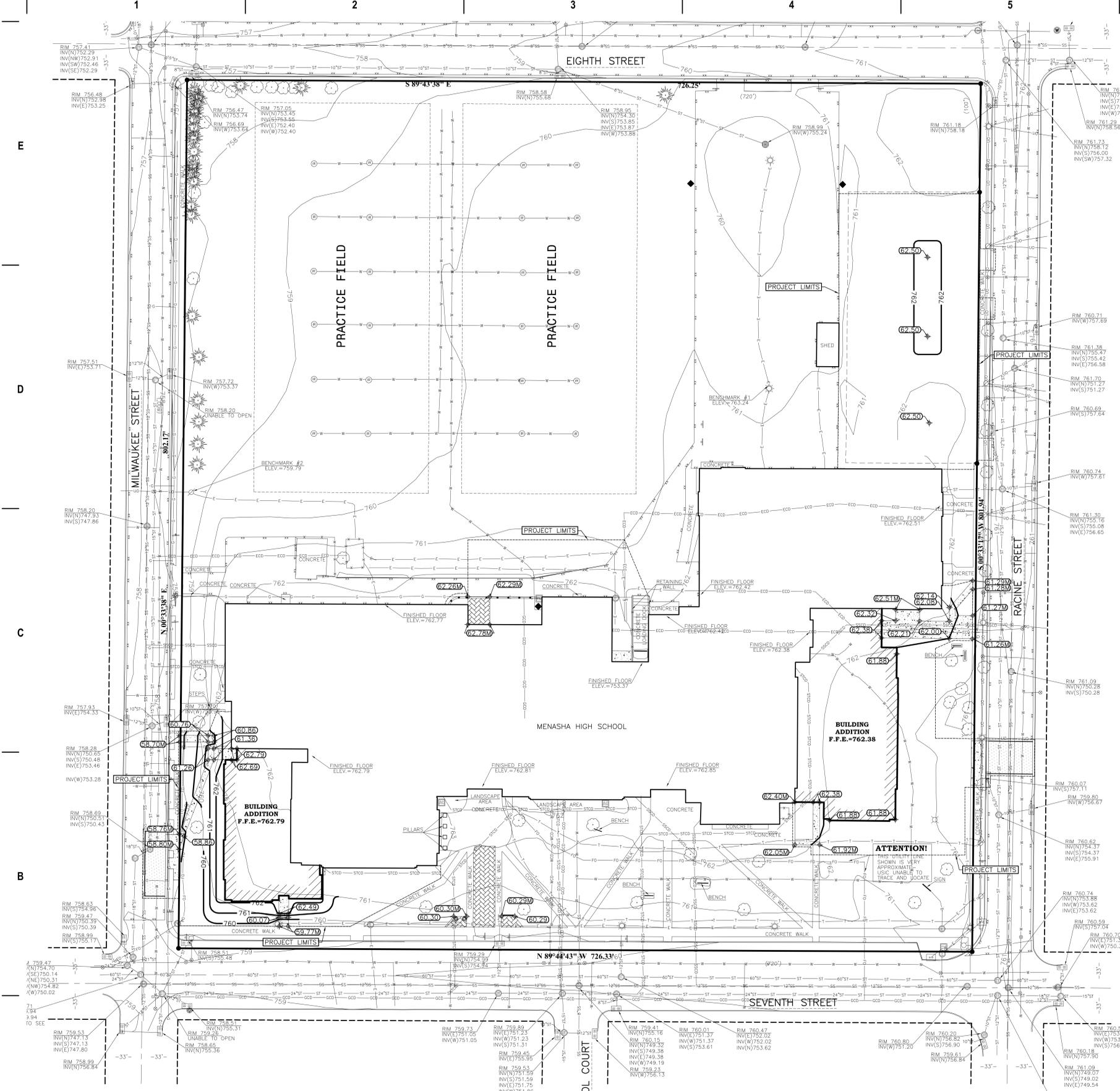
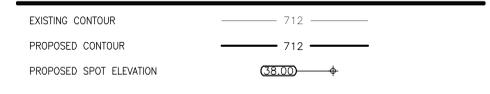
These standard symbols will be found in the drawing.

	SANITARY PER CONSTRUCTION DOCS.
	STORM PER CONSTRUCTION DOCS.
	WATER PER CONSTRUCTION DOCS.
	ELECTRIC PER CONSTRUCTION DOCS.
	GAS PER CONSTRUCTION DOCS.
	SANITARY SEWER
	STORM SEWER
	OVERHEAD UTILITIES
	BURIED ELECTRIC
	BURIED GAS
	BURIED TELEPHONE
	WATERMAIN
	FIBER OPTICS
	FENCE LINE
	EDGE OF BITUMINOUS
	CONTOUR LINE
	RECTANGULAR CATCH BASIN
	CIRCULAR CATCH BASIN
	SOIL BORING
	IRRIGATION HEAD
	CLEAN OUT
	ELECTRIC METER
	ELECTRIC MANHOLE
	ELECTRIC TRANSFORMER
	GAS METER
	GAS VALVE
	GUARD POST
	GUY WIRE
	HYDRANT
	LIGHTPOLE
	POWERPOLE
	SANITARY MANHOLE
	SIGN
	STORM MANHOLE
	STORM MANHOLE
	TELEPHONE PEDAESTAL
	TRAFFIC SIGNAL
	WATER MANHOLE
	WATER VALVE
	TREE
	PINE TREE
	COMPUTED CORNER
	RECORDED AS

GENERAL NOTES:

- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS.
- SEE SHEET C103 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS, AND SIGNAGE) CABLE, AND TELEPHONE CONSTRUCTION WITH RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH THE CITY OF MANASHA.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:



UNDERGROUND UTILITIES

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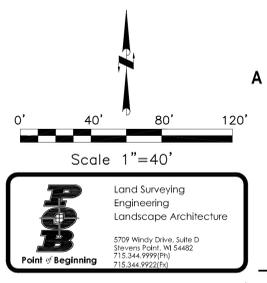
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- IRRIGATION HEAD
- CLEAN OUT
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC TRANSFORMER
- GAS METER
- GAS VALVE
- GAIRD POST
- GUY WIRE
- HYDRANT
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- POWERPOLE
- SANITARY MANHOLE
- SIGN
- STORM MANHOLE
- STORM MANHOLE
- TELEPHONE PEDESTAL
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- COMPUTED CORNER
- RECORDED AS

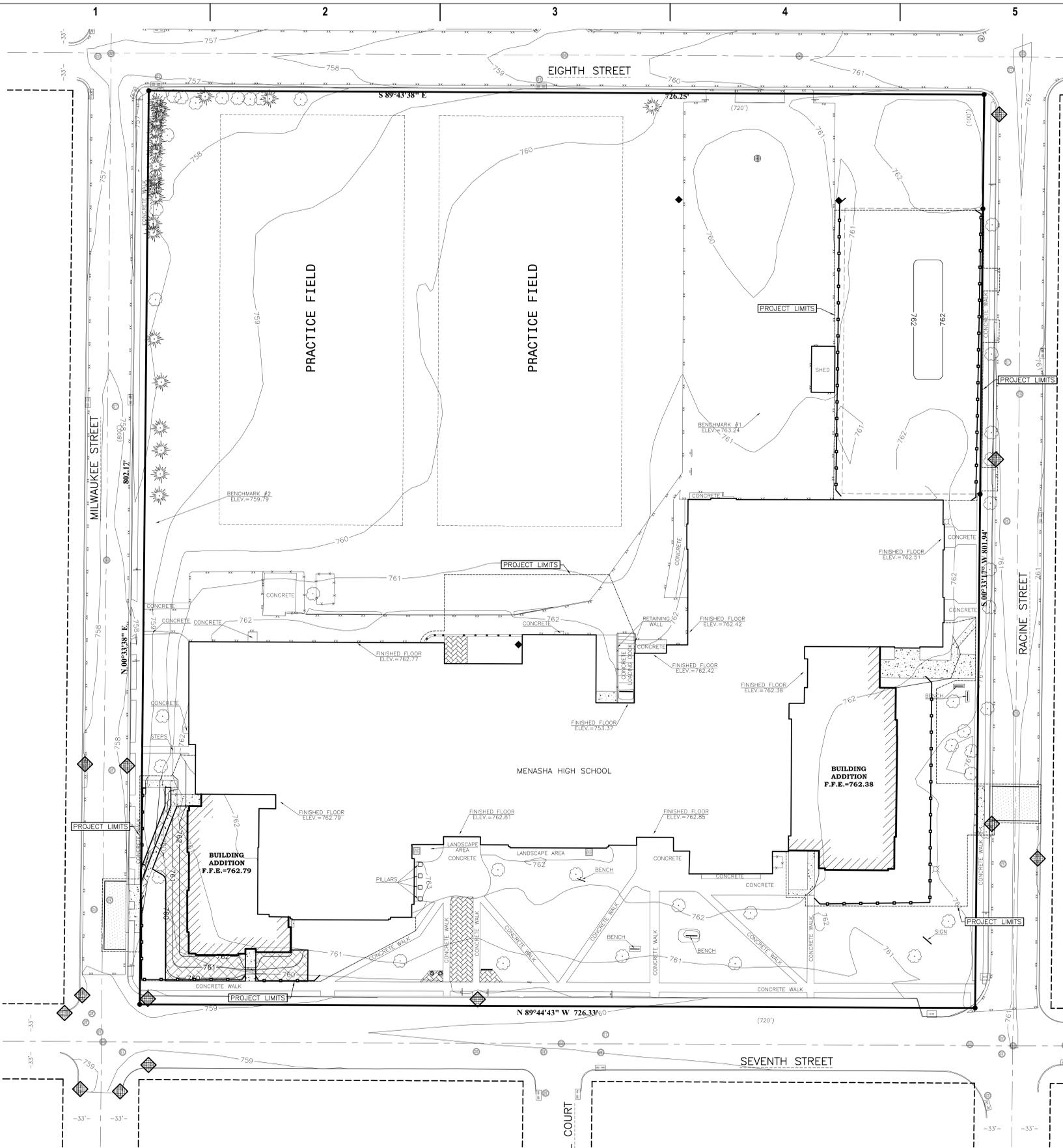
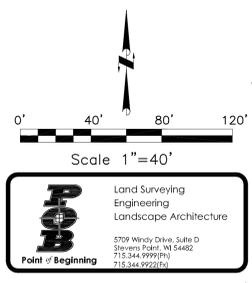
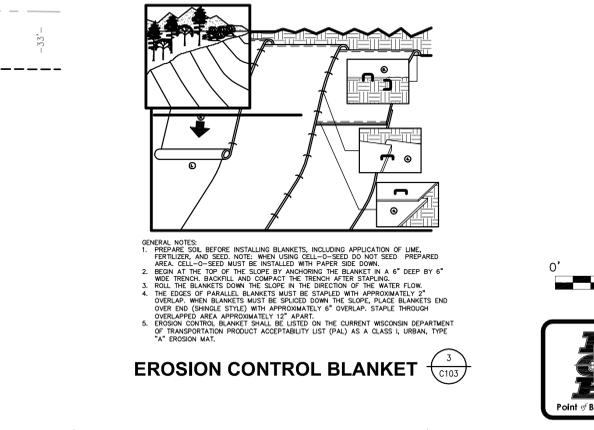
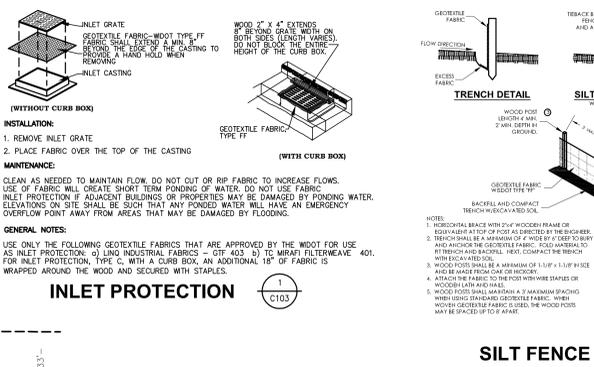
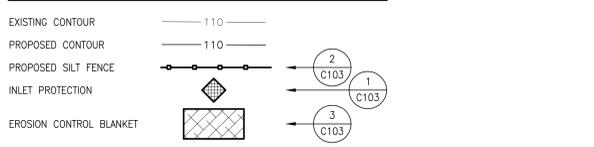
GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPALITY AT LEAST 3 WORKING DAYS PRIOR TO SOIL DISTURBING ACTIVITIES.
2. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
3. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
4. OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM, BEFORE IMMINENT RAIN EVENTS, AND AS DIRECTED BY THE CITY OF MENASHA.
5. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
6. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
7. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
8. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT.
9. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WISCONSIN DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-18.
10. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL 80% GROWTH OF VEGETATION IS ESTABLISHED. REMOVAL OF TEMPORARY EROSION CONTROL ELEMENTS SHALL BE PART OF THE CONTRACTORS BASE BID.
11. IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
12. IF BARE SOIL WILL BE EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
13. SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF ALL STOCKPILED TOPSOIL AND GRAVEL BASE.
14. INLET PROTECTION SHALL BE PROVIDED ADJACENT TO THE SITE, ACROSS THE STREET FROM THE SITE, AND IN THE NEXT SET OF INLETS DOWNSTREAM OF THE SITE.

EROSION CONTROL SEQUENCING

1. COMMENCE PROJECT BY INSTALLING PERIMETER EROSION CONTROL (SILT FENCE) AND INLET PROTECTION ON ADJACENT STREETS.
2. PERFORM DEMOLITION IN ACCORDANCE WITH DEMOLITION PLAN, AND ALL STATE AND LOCAL ORDINANCES.
3. STRIP EXISTING TOPSOIL IN BUILDING FOOTPRINT AND PARKING AREAS. PLACE SILT FENCE AROUND BASE OF STOCKPILED TOPSOIL AND EXCAVATE FOR BUILDING FOOTPRINT.
4. POUR BUILDING FOOTINGS AND FOUNDATION.
5. BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
6. DURING GRADING ACTIVITIES, EXISTING GRASS AND VEGETATION SHALL REMAIN IN PLACE AS LONG AS POSSIBLE TO AVOID SEDIMENT TRANSPORT.
7. ALL DISTURBED AREAS THAT ARE NOT ACTIVELY WORKED FOR 10 OR MORE DAYS SHALL BE TEMPORARILY STABILIZED. PERMANENT STABILIZATION SHALL BE INSTALLED WITHIN 7 DAYS OF ACHIEVING FINISHED GRADE.
8. FINALIZE SITE GRADING, SPREAD TOPSOIL AND SEED GENERAL LAWN AREAS DISTURBED BY CONSTRUCTION.
9. ONCE CONSTRUCTION IS COMPLETE, GRASS IS ESTABLISHED, AND SITE IS STABILIZED; REMOVE TEMPORARY EROSION CONTROL DEVICES AND SUBMIT NOTICE OF TERMINATION TO DNR.

EROSION CONTROL LEGEND:



UNDERGROUND UTILITIES

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BENCHMARK #3
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DESCRIPTION

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 madison 222 West Washington Ave, Suite 650
 Madison, Wisconsin 53703
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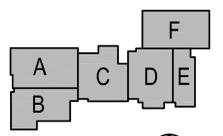
PROJECT INFORMATION
MENASHA HIGH SCHOOL
 420 Seventh Street
 Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS

#	DATE	DESCRIPTION

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS

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PROJECT MANAGER MLB
 PROJECT NUMBER 310285
 DATE 11-27-13

UTILITY PLAN

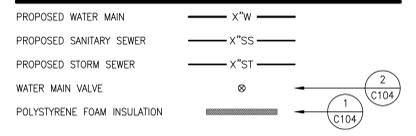
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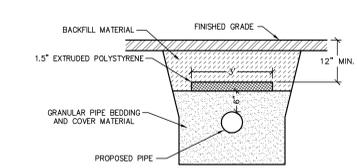
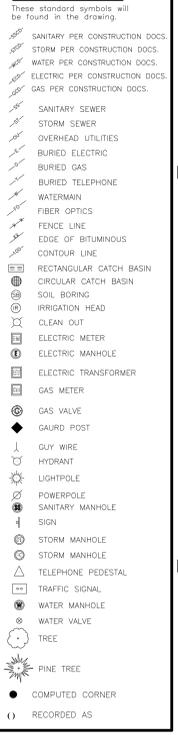
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1. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
2. REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS OF WATER AND SANITARY SEWER CONNECTIONS.
3. COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
4. COORDINATE ALL WORK WITHIN THE RIGHT OF WAY WITH THE CITY OF MENASHA.
5. ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES ADMINISTRATIVE CODE SECTION 382.21.
6. THE PROPOSED WATER MAIN SHALL HAVE A MINIMUM COVER OF 7'-0" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES, SEE SHEET C102 FOR PROPOSED GRADES. AT CROSSINGS, THE PROPOSED WATER MAIN SHALL BE SEPARATED FROM STORM SEWER AND SANITARY SEWER AS SHOWN IN DETAIL 3/C104.
7. BEFORE INSTALLING UTILITIES FIELD VERIFY LOCATION, SIZE, AND ELEVATION OF ALL WATER, SANITARY SEWER, AND STORM SEWER CONNECTIONS TO PUBLIC SERVICES.
8. CONTRACTOR SHALL COORDINATE WATER SERVICE CONNECTION TO EXISTING WATERMAIN WITH THE CITY OF MENASHA.
9. UTILITY CONTRACTOR SHALL COORDINATE CONNECTION OF STORM SEWER PIPES WITH THE CITY OF MENASHA. UTILITY CONTRACTOR SHALL SAW CUT OPENING IN EXISTING STORM SEWER STRUCTURE AND GROUT AROUND PROPOSED STORM SEWER PIPES FOR WATER TIGHT CONNECTION. UTILITY CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING CATCHBASIN, CURB AND GUTTER, OR STREET AT NO ADDITIONAL COST TO OWNER.
10. CONTRACTOR SHALL CONNECT PROPOSED SANITARY SEWER SERVICE TO EXISTING 8" MAIN WITH 6" SADDLE. PROPOSED CONNECTION SHALL BE COORDINATED WITH THE CITY OF MENASHA.

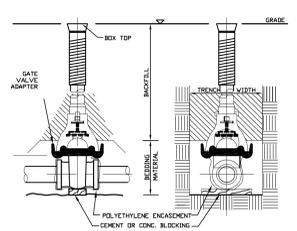
UTILITY LEGEND:



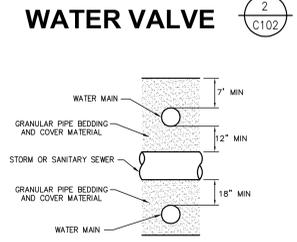
LEGEND



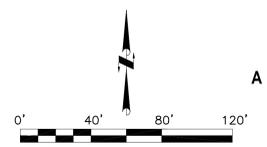
POLYSTYRENE FOAM INSULATION



WATER VALVE

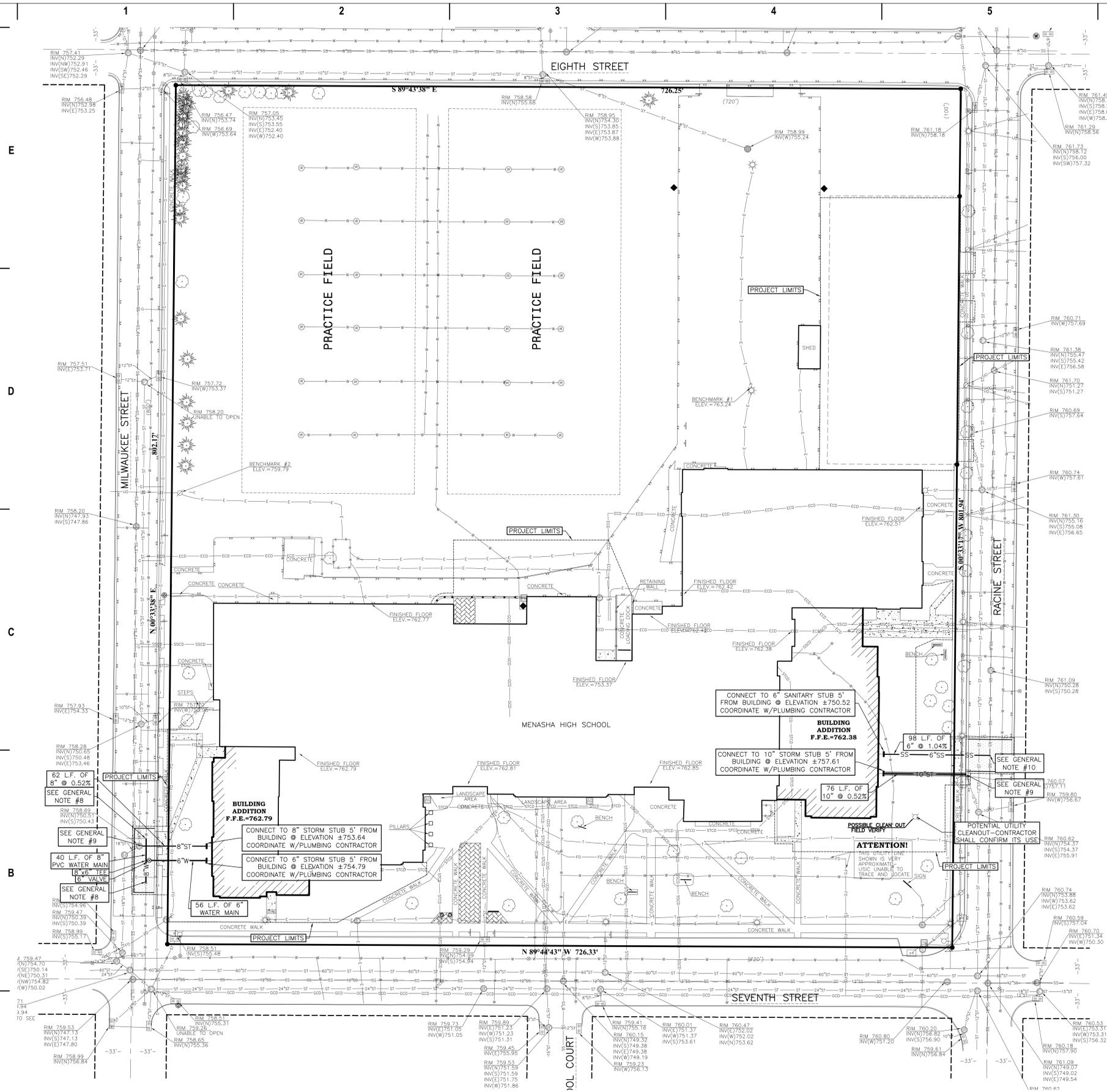


WATER MAIN PIPE CROSSING



Scale 1"=40'

Land Surveying
 Engineering
 Landscape Architecture



UNDERGROUND UTILITIES

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BENCH MARK

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
 BENCHMARK #1
 MARKER "Y" ON LIGHT POLE BASE, LOCATED IN THE MAIN PARKING LOT NORTH OF THE HIGH SCHOOL AND BEING THE MOST SOUTHERN LIGHT POLE.
 ELEVATION = 763.24
 BENCHMARK #2
 SPIKE IN POWER POLE, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 400 FEET SOUTH OF EIGHTH STREET.
 ELEVATION = 759.78
 BENCHMARK #3
 BURY BOLT ON HYDRANT, LOCATED IN THE NORTHEAST CORNER OF MILWAUKEE STREET AND EIGHTH STREET.
 ELEVATION = 759.12

DESCRIPTION

LOTS 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND PART OF LOTS 5, 6 AND 7, ALL IN REED'S FIRST ADDITION, LOCATED IN THE NORTHEAST 1/4 OF SECTION 15, TOWNSHIP 20 NORTH, RANGE 17 EAST, CITY OF MENASHA, WINNEBAGO COUNTY, WISCONSIN.



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 madison 222 West Washington Ave, Suite 650
 Madison, Wisconsin 53703
 tel 608 442 5350 fax 608 442 6680

PROJECT INFORMATION
MENASHA HIGH SCHOOL

420 Seventh Street
 Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS

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PROJECT MANAGER MLB
 PROJECT NUMBER 310285
 DATE 11-27-13

Landscape Plan

C105

GENERAL NOTES:

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- ALL TREES SHALL BE STAKED WITH A MINIMUM OF THREE STAKES.
- ALL TREES IN THE TURF AREA SHALL HAVE A 3" DIAMETER CIRCLE OF 4" DEPTH SHREDDED HARDWOOD BARK MULCH.
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- FILTER FABRIC SHALL BE PLACED BENEATH ALL BARK MULCH.
- COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.

LEGEND

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 - WATER PER CONSTRUCTION DOCS.
 - ELECTRIC PER CONSTRUCTION DOCS.
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 - STORM SEWER
 - OVERHEAD UTILITIES
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 - BURIED GAS
 - BURIED TELEPHONE
 - WATERMAN
 - FIBER OPTICS
 - FENCE LINE
 - EDGE OF BITUMINOUS
 - CONTOUR LINE
 - RECTANGULAR CATCH BASIN
 - CIRCULAR CATCH BASIN
 - SOIL BORING
 - IRRIGATION HEAD
 - CLEAN OUT
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - ELECTRIC TRANSFORMER
 - GAS METER
 - GAS VALVE
 - GAUDD POST
 - GLY WIRE
 - HYDRANT
 - LIGHTPOLE
 - POWERPOLE
 - SANITARY MANHOLE
 - SIGN
 - STORM MANHOLE
 - STORM MANHOLE
 - TELEPHONE PEDESTAL
 - TRAFFIC SIGNAL
 - WATER MANHOLE
 - WATER VALVE
 - TREE
 - PINE TREE
 - COMPUTED CORNER
 - RECORDED AS

PLANTING SCHEDULE:

TREES SYMBOLS	SPECIES TO BE DETERMINED, VERIFY WITH OWNER.	INSTALLATION SIZE	QUANTITY
TR		1.5" CAL	51

SHRUBS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
AG	ACER GINNALA VAR. 'FLAME'	FLAME AMUR MAPLE	36"	15"-20" X W	3
AM	ARONIA MELANOCARPA 'AUTUMN MAGIC'	AUTUMN MAGIC CHOKEBERRY	24"	4" X W	18
HA	HYDRANGEA ARBORESCENS 'INVINCIBELLE SPIRIT'	INVINCIBELLE SPIRIT HYDRANGEA	24"	4" X W	26
JH	JUNIPERUS HORIZONTALIS 'PLUMOSA'	ANDORRA JUNIPER	18"W	18" X 4"W	62
JS	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	18"W	24" X 4"W	46
PF	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	18"W	2" X 2"W	34
PO	PHYSCARPUS OPULIFOLIUS 'DIABOLO'	DIABOLO NINEBARK	36"	8" X W	9
SM	SYRINGA MEYER 'PALBUN'	DWARF KOREAN LILAC	24"	4" X 8"W	14
TA	TALUS X MEDIA 'TAUNTONI'	TAUNTON YEW	18"	4" X 6"W	54
TM	THILIA OCCIDENTALIS 'TECHNY'	TECHNY GLOBE ARBORVITAE	24"	4" X 4"W	31
WF	WEIGELA FLORIDA 'WINE & ROSES'	WINE & ROSES WEIGELA	24"	4"-5" & W	33

ORNAMENTAL GRASS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
PV	PANICUM VIRGATUM 'ROTSTRAHLBUSCH'	ROTSTRAHLBUSCH SWITCH GRASS	24"	3"-4"	9

PERENNIALS SYMBOLS	BOTANICAL NAME	COMMON NAME	INSTALLATION SIZE	SIZE AT MATURITY	QUANTITY
HE	HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	3" POT	20"X24"W	30
HO	HOSTA 'CLIMAX'	CLIMAX HOSTA	3" POT	24"X36"W	9
RF	RUBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	3" POT	24"X24" T	35
SE	SEDUM 'AUTUMN JOY'	AUTUMN JOY SEDUM	3" POT	24"X24" T	44

LANDSCAPE REQUIREMENTS:

LANDSCAPE ADJACENT TO BUILDING:
 50% OF BUILDING PERIMETER SHALL BE LANDSCAPED USING NO LESS THAN 25% EVERGREEN, BUT NOT MORE THAN 50% EVERGREENS.

BUILDING PERIMETER = 1,725 L.F./2 = 863 L.F. OF BUILDING FACADE REQUIRED TO BE LANDSCAPED

PROPOSED: 865 L.F. OF BUILDING FACADE IS LANDSCAPED WITH PLANTINGS OTHER THAN TURF. 35% IS EVERGREEN PLANTINGS.

PARKING LOT LANDSCAPING:
 LANDSCAPE BUFFER OF 8' REQUIRED ALONG PARKING LOT ADJACENT TO A STREET.

*REQUIREMENT: 1 CANOPY TREE FOR EVERY 30 L.F. = 133 L.F. OF PERIMETER PARKING/30 = 5 TREES REQUIRED

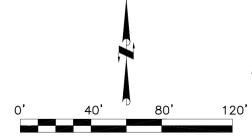
*REQUIREMENT: 5 SHRUBS FOR EVERY 30 L.F. = 133 L.F./5 SHRUBS = 27 SHRUBS REQUIRED

PROPOSED: 5 CANOPY TREES & 29 SHRUBS ALONG THE PERIMETER OF THE PARKING LOT (58% ARE EVERGREEN).

PERIMETER LANDSCAPING:
 *REQUIREMENT: 25% OF THE PERIMETER AREA OF SHALL BE LANDSCAPED UTILIZING PLANT MATERIAL OTHER THAN TURF.

3,056 L.F. OF PERIMETER AREA * 25% = 764 L.F. OF PERIMETER LANDSCAPING REQUIRED

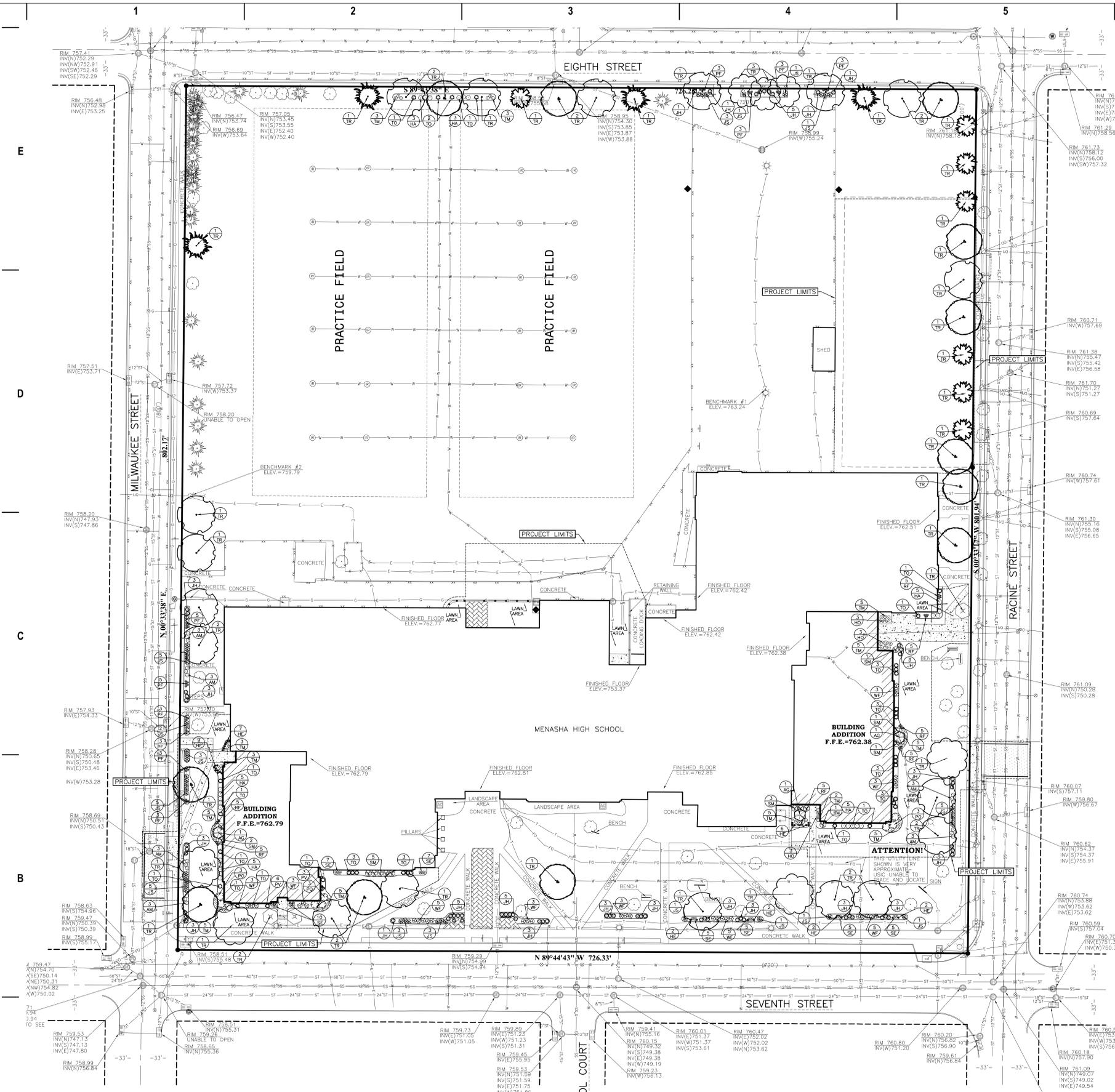
PROPOSED: 770 L.F. OF PERIMETER LANDSCAPING PROPOSED (51% IS EVERGREEN).



Point of Beginning

Land Surveying
 Engineering
 Landscape Architecture

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UNDERGROUND UTILITIES

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 madison 222 West Washington Ave, Suite 650
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PROJECT INFORMATION
MENASHA HIGH SCHOOL

420 Seventh Street
 Menasha, WI 54952

ISSUANCE AND REVISIONS
DESIGN PROGRESS

REVISIONS

#	DATE	DESCRIPTION

KEY PLAN

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PROJECT MANAGER MLB
 PROJECT NUMBER 310285
 DATE 11-27-13

Landscape Plan

C105A

© Eppstein Uhen Architects, Inc.

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PROPOSED: 770 L.F. OF PERIMETER LANDSCAPING PROPOSED (51% IS EVERGREEN).

FUTURE PARKING IMPROVEMENT LEGEND:

- (1 FT) = (10) FUTURE CANOPY TREES, 1.5" CALIPER
- [Hatched Box] = FUTURE PARKING LOT ISLAND TO BE LANDSCAPED WITH SHRUBS &/OR GROUND COVER
- [Dashed Line] = FUTURE PARKING IMPROVEMENT LIMITS



Land Surveying
 Engineering
 Landscape Architecture

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 715.344.9220(f)

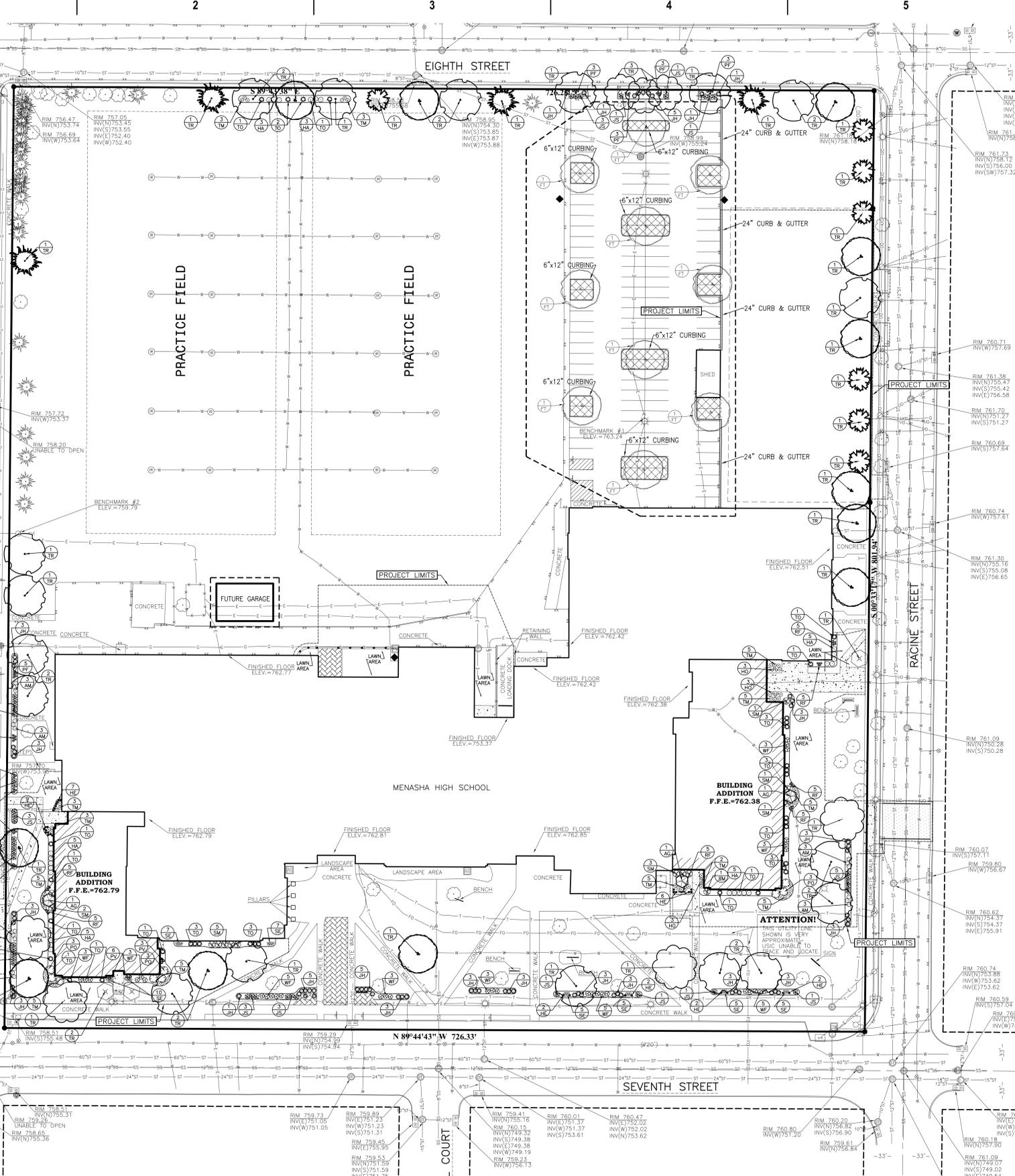
LANDSCAPING FOR FUTURE PARKING IMPROVEMENT PLAN:

FUTURE LANDSCAPING FOR PARKING LOT ISLANDS: TO BE PLANTED WITH REQUIRED NUMBER OF SHRUBS & CANOPY TREES

REQUIREMENT: 1 CANOPY TREE PER ISLAND PLUS SHRUBS &/OR GROUND COVER

TOTAL PARKING AREA = 43,260 S.F. OF PARKING * 10% = 4,326 S.F. OF INTERIOR LANDSCAPE ISLAND REQUIRED

PROPOSED = 4,345 S.F. OF INTERIOR LANDSCAPED ISLAND PROPOSED



UNDERGROUND UTILITIES

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BENCHMARK #2
 SPIKE IN POWER POLE, LOCATED ON THE EAST SIDE OF MILWAUKEE STREET AND BEING APPROXIMATELY 400 FEET SOUTH OF EIGHTH STREET.
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DESCRIPTION

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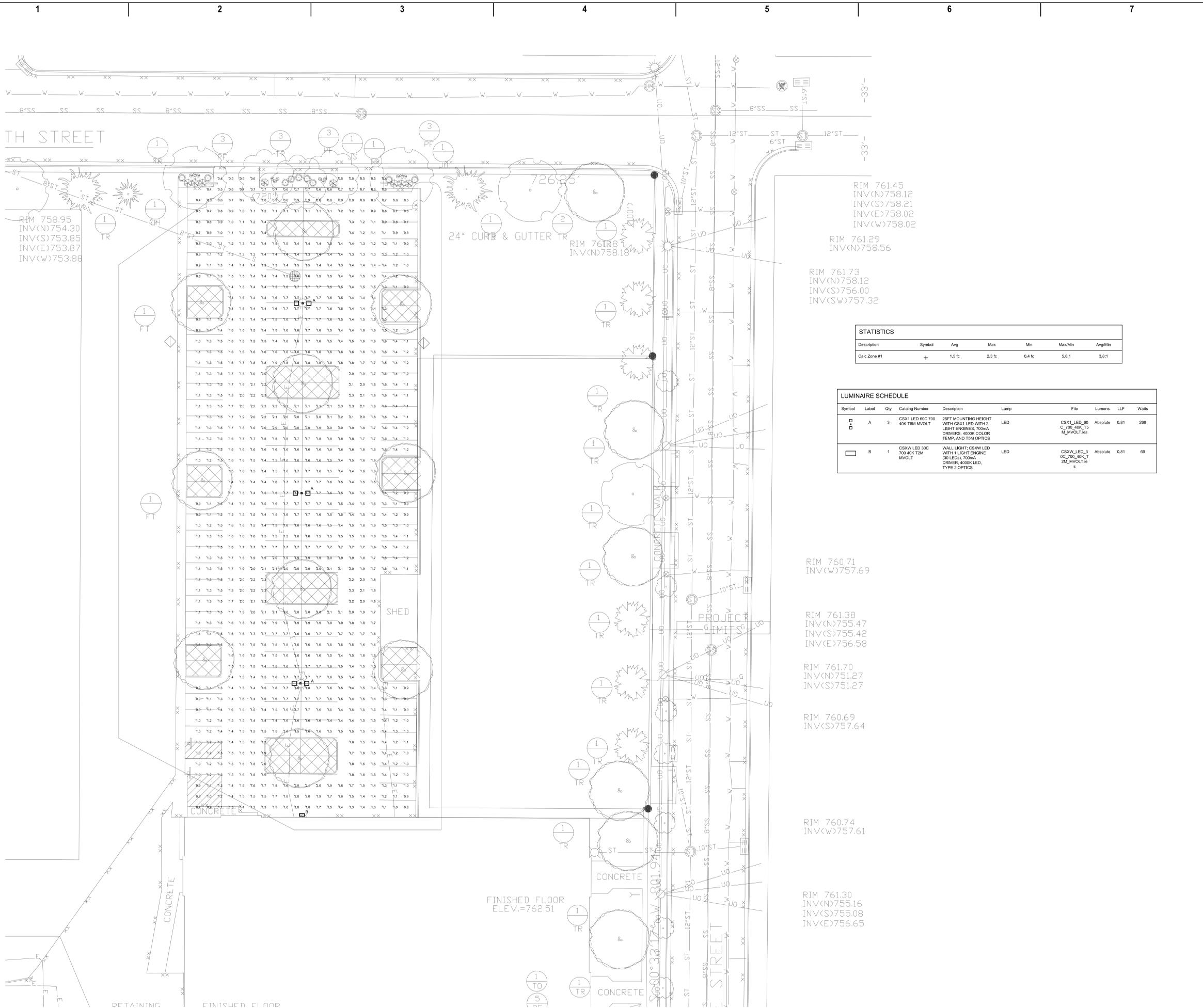
#	DATE	DESCRIPTION

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PROJECT MANAGER GWS

PROJECT NUMBER 310285

DATE 11-22-2013



RIM 761.45
 INV(N)758.12
 INV(S)758.21
 INV(E)758.02
 INV(W)758.02

RIM 761.29
 INV(N)758.56

RIM 761.73
 INV(N)758.12
 INV(S)756.00
 INV(SW)757.32

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.5 fc	2.3 fc	0.4 fc	5.8:1	3.8:1

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	A	3	CSX1 LED 60C 700 49K TSM MVOLT	25FT MOUNTING HEIGHT WITH CSX1 LED WITH 2 LIGHT ENGINES, 700mA DRIVERS, 4000K COLOR TEMP. AND TSM OPTICS	LED	CSX1_LED_60 C_700_49K_T5 M_MVOLT.dwg	Absolute	0.81	268
□	B	1	CSXW LED 30C 700 49K T2M MVOLT	WALL LIGHT: CSXW LED WITH 1 LIGHT ENGINE (30 LED), 700MA DRIVER, 4000K LED, TYPE 2 OPTICS	LED	CSXW_LED_30 C_700_49K_T 2M_MVOLT.dwg	Absolute	0.81	69

RIM 760.71
 INV(W)757.69

RIM 761.38
 INV(N)755.47
 INV(S)755.42
 INV(E)756.58

RIM 761.70
 INV(N)751.27
 INV(S)751.27

RIM 760.69
 INV(S)757.64

RIM 760.74
 INV(W)757.61

RIM 761.30
 INV(N)755.16
 INV(S)755.08
 INV(E)756.65

FINISHED FLOOR ELEV.=762.51

E1 SITE LIGHTING PLAN - FUTURE
 1" = 20'-0"



CSX1 LED LED Area Luminaire



Catalog
Number

Notes

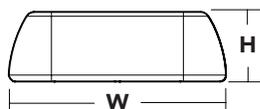
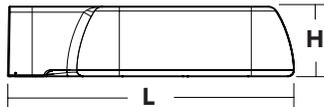
Type

Hit the Tab key or mouse over the page to see all interactive elements.

CONTOUR
SERIES

Specifications

EPA:	0.7 ft ² (0.07 m ²)
Length:	23-1/2" (59.7 cm)
Width:	18-1/2" (46.9 cm)
Height:	5-7/8" (14.9 cm)
Weight (max):	37 lbs (16.8 kg)



Ordering Information

EXAMPLE: CSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

CSX1 LED	60C									
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish (required)		
CSX1 LED	60C 60 LEDs	700 700 mA 1000 1000 mA (1 A)	40K 4000K 50K 5000K	T2M Type II T3M Type III T4M Type IV T5M Type V TFTM Forward throw	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket Shipped Separately² SPUMBA Square pole universal mounting adaptor RPUMBA Round pole universal mounting adaptor	Shipped installed PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) ³ DMG 0-10V dimming driver (no controls) ⁴ HS House-side shield ² SF Single fuse (120, 277, 347V) ⁵ DF Double fuse (208, 240, 480V) ⁵ DS Dual switching ^{6,7} WTB Utility terminal block ⁸ UT Utility terminal block and closing screws ⁸ ZELED Emergency LED secondary source (2 modules) battery pack (-20°C min. operating temperature) BL30 Bi-level switched dimming, 30% ^{7,9} BL50 Bi-level switched dimming, 50% ^{7,9} Shipped separately² VG Vandal guard BS Bird-deterrent spikes	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white		

Drilling

Template #8

Accessories
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁰
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁰
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁰
SCU	Shorting cap ¹⁰
KMA8 DDBXD U	Mast arm adaptor (specify finish)
SPUMBA DDBXD U	Square pole universal mounting bracket adaptor (specify finish)
RPUMBA DDBXD U*	Round pole universal mounting bracket adaptor (specify finish)
CSX1HS U	House-side shield (includes 2 shields)
CSX1VG U	Vandal guard accessory
CSX1BS U	Bird-deterrent spikes accessory

For more control options, visit [DTL](#) and [ROAM](#) online.

CSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

- ### NOTES
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
 - Also available as a separate accessory; see Accessories information at left.
 - Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Add'l hardware and services required for ROAM® deployment; call 1-800-442-6745.
 - Not available with 347 or 480V.
 - Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
 - Provides 50% dimming capability via two independent drivers, each operating half the luminaire. Available with MVOLT and two light engines only. N/A with PER, DCR, DMG, WTB or 2ELED.
 - Requires an additional switched line.
 - Not available with BL30 or BL50.
 - Dimming driver standard. MVOLT only. Not available with WTB, UT or DCR.
 - Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. For 1000mA 347V or 480V PER, must order DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) as the receptacle is wired after the stepdown transformer.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000K, 70 CRI)					50K (5000K, 67 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60C (60 LEDs)	700 mA	60C 700 --K	134W	T2M	13,662	3	0	3	102	14,651	3	0	3	109
				T3M	14,461	3	0	3	108	15,508	3	0	3	116
				T4M	14,441	2	0	3	108	15,486	3	0	3	116
				T5M	14,494	4	0	2	108	15,543	4	0	2	116
				TFTM	14,643	2	0	3	109	15,703	2	0	3	117
	1000 mA	60C 1000 --K	209W	T2M	17,652	3	0	3	84	19,028	3	0	3	91
				T3M	18,684	3	0	3	89	20,141	3	0	4	96
				T4M	18,658	3	0	4	89	20,113	3	0	4	96
				T5M	18,726	5	0	3	90	20,187	5	0	3	97
				TFTM	18,919	3	0	3	91	20,395	3	0	4	98

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **CSX1 LED 60C** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.83

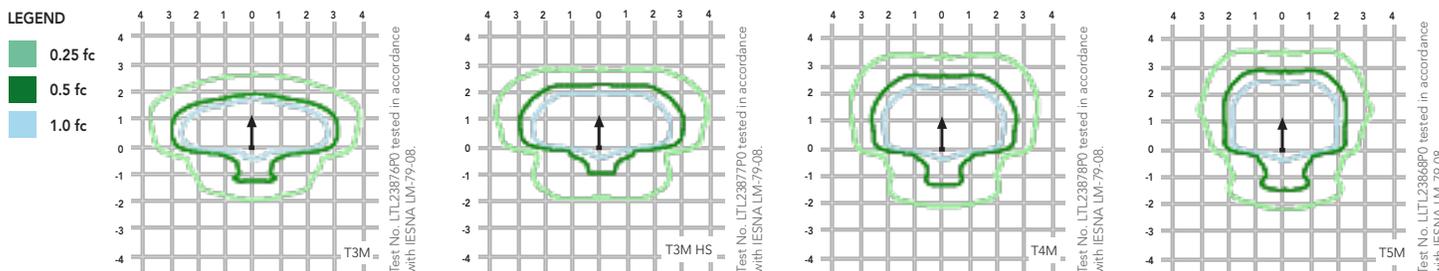
Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
60C	700	134W	1.321	0.756	0.659	0.580	0.462	0.337
	1000	208W	2.068	1.198	1.056	0.943	0.764	0.605

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [CSX1 homepage](#).

Isofootcandle plots for the CSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The Contour Series LED area luminaire is ideal for streets, walkways, parking lots, and surrounding areas that call for high-performance LED lighting in a transitional dayform.

CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A metallic screen covers the top of the housing, preventing debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver and electronics are thermally isolated from the light engine(s), ensuring long life. Housing is completely sealed against moisture and environmental contaminants.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (70 CRI) or optional 5000K (67 CRI) configurations. The CSX1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engines consist of 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver designed to have a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 3.0 G vibration load rating per ANSI C136.31. The CSX1 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options; wall mounting bracket also available. Available mast arm adapter accessory accepts horizontal tenons up to 2-3/8" O.D.

LISTINGS

CSA Certified to U.S. and Canadian standards. Light engines and luminaire are IP66 rated. **U.S. Patent No. D632830. U.S. Patent No. D653,382 S.**

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Specifications subject to change without notice.





CSXW LED LED Wall Luminaire



CONTOUR
SERIES

Specifications

Height:	7-1/8" (29.2 cm)
Width:	16-3/8" (41.6cm)
Depth:	9-5/16" (23.6 cm)
Weight (max):	30 lbs (13.6 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

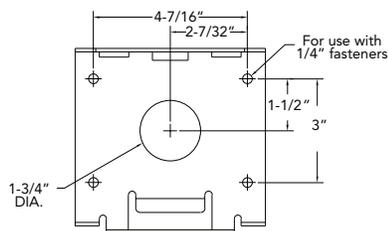
The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT DDBXD

CSXW LED		Drive current		Color temperature ¹		Distribution		Voltage		Mounting		Options		Finish <i>(required)</i>			
Series	LEDs																
CSXW LED	30C 30 LEDs	700	700 mA	40K	4000K	T2M	Type II, medium	MVOLT ²	Shipped included	Shipped installed		DDBXD	Dark bronze				
		1000	1000 mA	50K	5000K	T3M	Type III, medium	120 ²	(blank) Surface mount	PE	Photoelectric cell, button type ^{5,6}	DBLXD	Black				
						T4M	Type IV, medium	208 ²	Shipped separately	DMG	0-10V dimming driver (no controls)	DNAXD	Natural aluminum				
						TFTM	Type forward throw, medium	240 ²		BBW	Surface-mounted back box (for conduit entry) ⁴	SF	Single fuse (120, 277, 347V) ⁷	DDBTXD	Textured dark bronze		
								277 ²			DF	Double fuse (208, 240, 480V) ⁷	DBLBXD	Textured black			
								347 ³				DNATXD	Textured natural aluminum				
								480 ³				DWHGX	Textured white				
												Shipped separately⁴					
												VG	Vandal guard				
												WG	Wire guard				

Mounting Detail



Accessories

Ordered and shipped separately.

CSXWBBW DDBXD U	Back box accessory (specify finish)
CSXWWG U	Wire guard accessory
CSXWVG U	Vandal guard accessory

NOTES

- Configured with 4000K (/40K) provides the shortest lead times. Consult factory for 5000K (/50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options) or photocontrol (PE option).
- Available with 700 mA options only (30C 700).
- Also available as a separate accessory; see Accessories information at left.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option.
- Must be ordered with fixture; cannot be field installed.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000K, 70 CRI)					50K (5000K, 67 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
					30C (30 LEDs)	700 mA	30C 700 -K	69W	T2M	6,695	2	0	2	97
T3M	7,068	2	0	2					102	7,582	2	0	2	110
T4M	7,017	2	0	2					102	7,528	2	0	2	109
TFTM	7,158	2	0	2					104	7,679	2	0	2	111
T2M	8,868	2	0	2					85	9,560	2	0	2	92
1000 mA	30C 1000 -K	104W	T3M	9,361		2	0	2	90	10,091	2	0	2	97
			T4M	9,293		2	0	2	89	10,018	2	0	2	96
			TFTM	9,481		2	0	2	91	10,220	2	0	2	98

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	1.00
40°C	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the CSXW LED platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.91	0.85

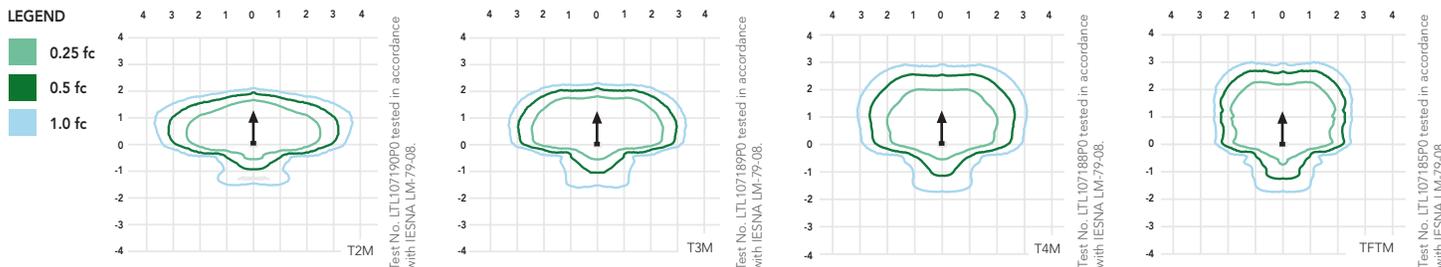
Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
30C	700	70W	0.695	0.412	0.367	0.331	0.247	0.186
	1000	104W	1.034	0.599	0.528	0.472	0.382	0.302

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's CSXW homepage.

Isofootcandle plots for the CSXW LED 30C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The Contour Series Wall LED luminaire is ideal for commercial building mounted applications from over-the-door to 20 ft mounting heights.

CONSTRUCTION

Rugged, die-cast, single-piece aluminum housing. Unique flow-through design for optimized thermal management. Modularity allows for ease of maintenance and potential for future system upgrades. Metallic screen covers the top of the housing, preventing debris build-up while allowing for air flow. Housing is completely sealed against moisture and environmental contaminants.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (70 CRI) or optional 5000K (67 CRI) configurations. The CSXW has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of 30 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with every installation.

LISTINGS

CSA Certified to U.S. and Canadian standards. Light engine is IP66 rated. Luminaire is IP65 rated.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.

